HASTINGS PLANNING COMMISSION

A meeting of the Hastings Planning Commission has been scheduled for Tuesday, April 15, 2025 at 4:00 PM at the Hastings Municipal Airport.

AGENDA:

1. Call to Order

2. Roll Call

3. Pledge of Allegiance

4. Motion to adopt the current agenda for the Planning Commission Meeting

5. Public Notice -Official Notice of the Regular Meeting was published in the Hastings Tribune on Saturday, April 5, 2025. Pursuant to Nebraska Revised Statute Section 84-1412, the public is advised that a copy of today's agenda and all reproducible written material which will be discussed at today's meeting is available for public review. Also, a current copy of the Nebraska Open Meetings Act is posted and accessible to members of the public.

6. Approval of Minutes

   a. Meeting of March 18, 2025

7. Public Hearings.

   a. **2025-133.** Public hearing for a change of zoning for property generally located southeast of the intersection of West Laux Drive and East 31st Street, known as Trailside Village, from R-3, Multiple Family Residential District to RP-3, Multiple Family Residential Planned District and to amend the Official Zoning District Map.

      Motion to recommend approval for an ordinance and the amendment to the Official Zoning District Map to rezone the property generally located southeast of the intersection of West Laux Drive and East 31st Street from R-3, Multiple Family Residential District to RP-3, Multiple Family Residential Planned District.

   b. **2025-135.** Final Plat of the Trailside Subdivision, generally located southeast of the intersection of West Laux Drive and East 31st Street in the City of Hastings, Adams County, Nebraska.

      Motion to recommend approval of the Trailside Subdivision Final Plat to the City Council, with one condition of approval.

   c. **2025-134.** A public hearing to consider an ordinance for updates to the City's Code of Ordinances for Article VI. Nonconformities, Section 34-309. Signs, and 34-314. Small Wind Energy Systems.

      Motion to recommend approval of an ordinance to update Article VI. Nonconformities, Section 34-309. Signs, and 34-314. Small Wind Energy Systems of the City's Code of Ordinance.

8. Reports

   a. Committee Reports
   b. Chairman Comments

c. Staff Reports

Adjourn

CITY OF HASTINGS, NEBRASKA
MINUTES OF PLANNING COMMISSION
TUESDAY, MARCH 18, 2025

Pursuant to due call and notice thereof, a meeting of the Hastings Planning Commission was conducted in the Hastings Municipal Airport, 3300 W 12th Street, Hastings, Nebraska, on March 18, 2025

First Chair Rosenberg called the meeting to order at 4:00 p.m. in Regular Session, with the following members present: Michelle Lewis, Chuck Rosenberg, Shawn Rossi, Rakesh Srivastava, and Jody Stutzman. Absent: Lou Kully, Greg Sinner, and Joe Kindig.

The following City Officials were present: City Mayor Jay Beckby, City Administrator Mark Funkey, Director/City Engineer, Lee Vrooman, City Attorney, Jesse Oswald, Director of Development Services, Chad Bunger, Chief Building Official, Danny Graves, City Planner, Ember Batelaan, Community Risk Reduction Officer, Anthony Murphy, Public Information Manager, Tony Herrman, Utility IT Manager, Kirk Layton, and Administrative Assistant, Melissa Woodard.

Joe Kindig arrived at 4:01 p.m.

First Chair Rosenberg led the Commission in the recital of the Pledge of Allegiance to the United States of America.

First Chair Rosenberg called for a motion to adopt the current agenda for the March 18, 2025, meeting. Moved by Lewis, seconded by Srivastava, to adopt the current agenda. Ayes: Kindig, Stutzman, Rosenberg, Lewis, Srivastava, Rossi. Nays: None. Motion carried: 6-0.

PUBLIC NOTICE - Official Notice of the Regular Meeting was published in the Hastings Tribune on Saturday, March 8, 2025. Pursuant to Nebraska Revised Statute Section 84-1412, the public is advised that a copy of today's agenda and all reproducible written material, which will be discussed at today's meeting, is available for public review. Also, a current copy of the Nebraska Open Meetings Act is posted and accessible to members of the public.

APPROVAL OF MINUTES

Meeting of March 4, 2025
First Chair Rosenberg called for a motion to approve March 4, 2025, minutes. Moved by Rossi, seconded by Kindig: Roll Call: Ayes: Kindig, Rosenberg, Srivastava, Lewis, Rossi, and Stutzman. Nays: None. Motion Carried: 6-0.

First Chair Rosenberg read The Public Notice Rules Statement prior to the Public Hearings.

Public Hearings

First Chair Rosenberg opened the Public Hearing.

a. **2025-83 Public hearing for a change of zoning for property commonly addressed 705 W Franklin Street, from R-1, Urban Single-Family Residential District to R-2, Mixed Density Neighborhood District and to amend the Official Zoning District Map.** Bunger gave the Staff Report to consider the request for a change of zoning from R-1, Urban Single-Family Residential District, to R-2, Mixed Density Neighborhood District, and to amend the Official Zoning District Map. Staff recommended that the Planning Commission recommend approval to the City Council for a change of zoning for property commonly addressed as 705 W Franklin Street, and to recommend approval to amend the Official Zoning District Map based on the findings provided in the staff report.

   Speaker Dave Hoglund, 1302 N. Laird Ave., Hastings, Nebraska, was available for questions. First Chair Rosenberg declared the public hearing closed.

   First Chair Rosenberg asked for a motion to recommend approval for a change of zoning for the property commonly addressed as 705 W Franklin Street. Stutzman moved to recommend approval for a change of zoning for property commonly addressed as 705 W Franklin Street from R-1, Urban Single-Family Residential District to R-2, Mixed Density Neighborhood District, and to amend the Official Zoning District Map, seconded by Rossi. Roll Call: Ayes: Kindig, Rosenberg, Rossi, Stutzman, Lewis, and Srivastava. Nays: None. Motion carried: 6-0.

First Chair Rosenberg opened the Public Hearing.

b. **2025-82 Public Hearing to consider a request for a Conditional Use Permit for a self-service storage facility in a portion of the existing building at 1115 W 2nd Street, City of Hastings, Adams County, Nebraska. The property is zoned I-1, Light Industrial District.** Bunger gave the Staff Report to consider a request for a Conditional Use Permit for a self-service storage facility in a portion of the existing building at 1115 W 2nd Street, City of Hastings, Adams County, Nebraska. Staff recommended that the Planning Commission recommend approval to the City Council to consider a request for a Conditional Use Permit for 1115 W 2nd Street, City of Hastings, Adams County, Nebraska, based on the findings provided in the staff report.

   Jordan Raybould, 2724 Bradfield Dr, Lincoln NE. Jordan discussed having attempted to lease that space for several years. They are trying to find great use for the space, that would add value to the city.

Rossi asked if this was unmonitored access by an app or electronic access would there be a need for security in the building?

Raybould explained they cannot access the building without access to the app, according to vendors he's spoken with. There will be security cameras in use in every hallway to help people feel safe, and they will have 24-hour access, but only if they have the app.

First Chair Rosenberg declared the Public Hearing closed.

First Chair Rosenberg asked for a motion to recommend approval to consider a request for a Conditional Use Permit for a self-service storage facility at 1115 W 2nd Street. Rossi moved to recommend approval to consider a Conditional Use Permit at 1115 W 2nd Street, seconded by Srivastava. Roll Call: Ayes: Kindig, Rosenberg, Rossi, Stutzman, Lewis, and Srivastava. Nays: None. Motion carried: 6-0.

First Chair Rosenberg opened the Public Hearing.

c. **2025-86 Public Hearing to consider a request for Plan Modification No. 2025-1 to Redevelopment Area #1 for the Brant Rentals 811 W 1st Redevelopment Project. The area of redevelopment is approximately 7,840 square feet (.18 acres) in area. The plan Modification area is generally located to the southwest of the intersection of West 1st Street and N. Lincoln Avenue, City of Hastings, Adams County, Nebraska.** Batelaan gave the Staff Report to consider a request for Plan Modification No. 2025-1 to Redevelopment Area #1 for the Brant Rentals 8811 W 1st Redevelopment Project. Staff recommended that the Planning Commission recommend approval to the City Council to consider a request for Plan Modification No. 2025-1, based on the findings provided in the staff report.

Jeb Brant, 725 W 2nd Street, spoke about the lack of retail space downtown and this would create more with this new building. Aesthetically, it should be a cool-looking building, with good use and purpose. He stated he has used TIF in the past for other projects, which help developers a lot. He appreciates the opportunity.

First Chair Rosenberg declared the Public Hearing closed.

First Chair Rosenberg asked for a motion to recommend approval to consider a request for a Plan Modification No. 2025-1 to Redevelopment Area #1 for the Brant Rentals 811 W 1st Redevelopment Project. Srivastava moved to recommend approval to consider a Conditional Use Permit at 811 W 1st,

seconded by Rossi. Roll Call: Ayes: Kindig, Rosenberg, Rossi, Stutzman, Lewis, and Srivastava. Nays: None. Motion carried: 6-0.

First Chair Rosenberg declared the Public Hearing open.

d. **2025-87 Public Hearing to consider a request for Plan Modification No.2025-2 to Redevelopment Area #14 for the Trailside Village Redevelopment Project. The area of redevelopment is approximately 3.56 acres. The Plan modification area is generally located to the Southeast of the Intersection of East 31st Street and West Laux Drive, City of Hastings, Adams County, Nebraska.** Bunger gave the Staff Report to consider a request for Plan Modification No. 2025-2 to Redevelopment Area #14 for the Trailside Village Redevelopment Project. Staff recommended that the Planning Commission recommend approval to the City Council to consider a request for Plan Modification No. 2025-2 based on the findings provided in the staff report.

Dave Rippe, 1312 Heritage Drive, Hastings, Nebraska, called this a pilot project, discussing TIF assistance to help provide Affordable Housing. The Trailside Village Development will have 11 Duplex units, 22 housing units, and two tri-plexes, for a total of 28 housing units to be leased at first, then sold to single-family homeowners.

Shannon Landauer, HEDC, 301 S Burlington Ave., said this property is unique in elevation changes, and shape. That makes it unable to have single-family development there of any kind at an affordable rate. She is excited that this involves the workforce housing development, with a single-family feel. She wanted to put it on record to state their support and offering support in the workforce funding.

Srivastava asked Bunger if the pro forma provided in the application considered the owner-occupied sales proposed to occur in 7-10 years. Bunger said that the pro forma provided by the CRA's application only considered the first four years of the development.

Rippe said they are hopeful that the market will accept these as single-family homes, explaining comparisons in the neighborhood.

Srivastava said you plan to use these for 7-10 years as rentals, so those potential homeowners will have the option to lease to buy or be purely leased, and when they come for sale, will it be fair market value?

Rippe said the intent is not to be a lease-to-own type of structure. Those units are purely leased, and later into this business model; when people move,

instead of re-renting those units, they would put them for sale at a market rate, not all at the same time, but when they become available.

Stutzman commented that having worked in workforce development and getting young people trained in Hastings, she appreciated the risk in the model they are taking, and working with Chief before, appreciates the value they bring, so thank you for this.

Rosenberg said he was out there today and drove around, amazed at how many new homes and construction was going on. He only saw a couple of homes for sale, most were occupied.

First Chair Rosenberg declared the Public Hearing closed.

First Chair Rosenberg asked for a motion to recommend approval to consider a request for a Plan Modification No. 2025-2 to Redevelopment Area #14 for the Trailside Village Redevelopment Project. Lewis moved to recommend approval to consider Plan Modification No. 2025-2 to Redevelopment Area #14 for the Trailside Village Redevelopment Project, seconded by Kindig. Roll Call: Ayes: Kindig, Rosenberg, Rossi, Stutzman, Lewis, and Srivastava. Nays: None. Motion carried: 6-0.

Subdivisions

None

Reports

a. **Committee Reports:** None

b. **Chairman Comments:** First Chair Rosenberg welcomed Shawn and Joe as their terms were recently renewed, for another three years.

c. **Staff Reports:** Bunger mentioned the work session with the City Council the night before regarding Micro-TIF and the proposed zoning code updates. Bunger noted that staff is working on the next round of zoning code updates for the administration section and accessory use section.

Rosenberg told Mayor Beckby he appreciates his attendance at the Planning Commission meetings, it means a lot to the Commissioner, and that the City Officials are interested in what is happening as well.

Adjourn

First Chair Rosenberg called for a motion to adjourn at 4:53 p.m. Motion was moved by Rossi, seconded by Srivastava. Roll Call: Ayes: Kindig, Rosenberg, Rossi, Stutzman, Lewis, and Srivastava. Nays: None. Motion carried: 6-0

_____

First Chair Chuck Rosenberg

Department: Development Services
Staff Contact: Ember Batelaan, Chad Bunger
Planning Commission Meeting Date: 4/15/2025
File No: 2025-133
Prepared By: Chad Bunger, Director of Development Services

AGENDA ITEM SUMMARY SHEET

Description of Item:

The applicant, Queen City Development, has applied to rezone a 3.63-acre parcel generally located southeast of the intersection of West Laux Drive and East 31st Street from R-3, Multiple-Family Residential District to RP-3, Multiple-Family Residential Planned District. The applicant has also applied for a final plat for Trailside Subdivision.

Names of People/Business affected by this action:

The applicant, surrounding neighborhood, people of Hastings, and the City.

Why Planning Commission action is required:

Neb. Rev. Stat. 19-902 provides the city council shall receive the advice of the planning commission before taking definite action on any contemplated amendment, supplement, change, modification, or repeal, and no such regulation, restriction, or boundary shall become effective until after separate public hearings are held by both the planning commission and the city council in relation thereto, at which parties in interest and citizens shall have an opportunity to be heard. Notice of the time and place of such hearing shall be given by publication thereof in a legal newspaper in or of general circulation in such municipality at least one time ten days prior to such hearing.

Type of action requested:

Motion

Suggested motion:

Deadlines associated with action:

The request to rezone is scheduled to be heard at the City Council Regular meeting on May 12, 2025.

Department head comments:

Development Services staff has reviewed the application to rezone property generally located southeast of the intersection of West Laux Drive and East 31st Street. The complete details of the staff review and recommendation are in the attached staff report.

Recommendation:

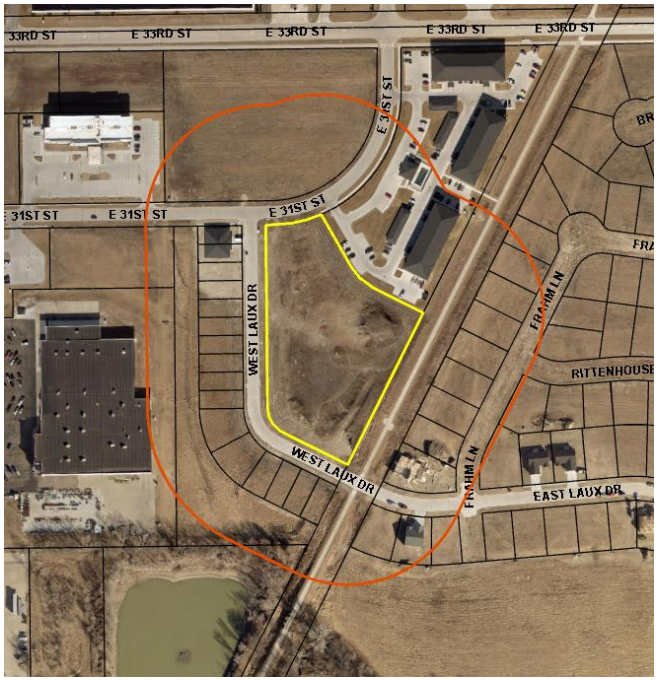
Staff recommends that the Planning Commission recommend APPROVAL to the City Council for the request to rezone property generally located southeast of the intersection of West Laux Drive and East 31st Street from R-3, Multiple-Family Residential District to RP-3, Multiple-Family Residential Planned District.

City of Hastings Planning Commission

HASTINGS
DEVELOPMENT SERVICES

STAFF REPORT

Request to Rezone:	**Rezone to RP-3, Multiple-Family Residential Planned District.**
Case #	2025-133
Applicant	Queen City Development, LLC
Property Location:	Generally located to the southeast of the intersection of West Laux Drive and East 31st Street.
Lot Size:	3.63 acres
Date of Public Hearing:	April 15, 2025
Current Zoning	R-3, Multiple-Family Residential District
Adjacent Zoning:	North: C-3, Commercial Business District and R-3, Multiple-Family Residential District
	East: R-1, Urban Single-Family Residential District
	South: R-3, Multiple-Family Residential District
	West: R-3, Multiple-Family Residential District



DESCRIPTION OF REZONING REQUESTS:

The developer, Queen City Development, LLC, has proposed to develop the 3.63-acre, undeveloped land to the southeast of the intersection of West Laux Drive and East 31st Street for a multiple-family residential development. The proposed development, named Trailside Village, would consist of 28 units, of approximately 2,150 square feet each, in 11 duplex and two tri-plex buildings.

The property is currently zoned R-3, Multiple-Family Residential District. The applicant has requested to rezone the property to RP-3, Multiple-Family Residential Planned District, to achieve greater density through smaller setbacks and greater lot coverage. The R-3 District has required front yard setbacks of 25 feet, side yard setbacks of 10 percent of the width of the lot with a minimum of 7 feet, and rear yard setbacks of 20 percent of the depth of the lot up to 30 feet. Additionally, this district has a minimum lot width of 50 feet for two-family dwellings and 70 feet for 3 and 4 family dwellings with a maximum lot coverage of 50 percent.

The developer is proposing to decrease the front yard setback to 11 feet, but will meet side and rear yard setbacks with 8 feet and 32-34 feet, respectively. The proposed maximum lot coverage will range from 25 to 50 percent for individual lots which is intended to optimize density to address affordability. The development will also provide common shared green spaces as an amenity for the development.

The development will have a new public street, named Trailside Drive, that will provide access to eight duplexes and two alleyways that will provide access to the remaining units. Parking will be provided off-street and off-alley for the units. Fire access will be provided through a private access easement from the property to the north. The developer and neighboring property owner are working on a private agreement to establish the use of the private access easement for emergency access.

The development is anticipated to reach substantial completion by December 2025.

An application for a Final Plat has also been made by the applicant.

Property Description:

The property is generally located to the southeast of the intersection of West Laux Drive and East 31st Street. The property is currently vacant. The land gently slopes to the south and is not in a mapped floodplain.

STANDARDS TO REZONE PROPERTY:

The provisions of Article VIII regulate the process to rezone property within the City and its extraterritorial jurisdiction.

The City Council, by recommendation from the City Planning Commission, will base its decision on the following:

a) **The existing use of the property, its physical and environmental characteristics, its zoning history, and its suitability for the zoning district it currently is within.**

The property is currently vacant and is not in a mapped floodplain. The land gently slopes to the south.

The property is currently zoned R-3, Multiple Family Residential District. The property was rezoned from AP, Agricultural Planned District, to R-3 Multiple Family Residential District in 2018 (Ord. No. 4568).

The property was intended for residential development but has remained vacant to this day. Permitted uses in the R-3 district include various residential uses such as semi-attached dwellings, attached dwellings, and multi-dwelling buildings. This uniquely shaped property sits at a critical area of transition from higher density residential uses to lower density residential uses.

b) **Conformity of the proposed change with the Comprehensive Plan.**

The City of Hastings, Nebraska Comprehensive Plan 2025, adopted in March 2025, shows the site in the High Density Residential land use category. The policy statement for this use designation is:

> *The High Density Residential land use district includes both existing and new residential neighborhoods with multi-family residential development on moderate to large-sized lots with supporting community facilities. It is intended to encourage creative development patterns. Streets are paved with sidewalks, curb, and gutter. This land use type is ideally located near intersections of arterial streets to act as a buffer between more high intensity uses and lower density residential uses.*

The existing zoning of the property is R-3, Multiple Family Residential District, which permits various residential uses including semi-attached dwellings, attached dwellings, and multi-dwelling buildings.

The High Density Residential land use category is intended to start at densities of 15 or above dwelling units per acre. The proposed development will consist of 28 units with a gross density of 7.7 dwelling units per acre. This development will consist of common green spaces, private drives, and a public street and will have a net density of 14.3 dwelling units per acre.

Although the proposed development is slightly under the intended density of the future land use category, the development meets the general purpose of the land use category through its creative development pattern that is intended to act as a buffer between higher density residential uses to the north and lower density residential uses to the south and east.

c) Adequacy of sewer, water, streets, and other needed facilities and services for permitted uses in the proposed zoning district.

The sanitary sewer, water, streets, and other infrastructure are present adjacent to the site and will need to be extended into the site to serve the uses throughout the proposed development.

d) The character of the neighborhood, including the zoning and uses of nearby property.

The surrounding neighborhood is a transitional area with a mix of high density residential uses, duplex residential uses, and suburban single-family residential uses. To the north of the site are high density residential uses that are zoned R-3, Multiple Family Residential District. To the east are single-family residential properties with new homes under construction that are zoned R-1, Urban Single-Family Residential District. To the south are also single-family residential properties with new homes under construction as well as vacant land that are zoned R-3, Multiple Family Residential District. To the west are semi-detached duplex homes and new single-family detached homes under construction that are zoned R-3, Multiple Family Residential District.

e) Compatibility of the proposed zoning district with nearby property.

The proposed rezoning is generally compatible with the nearby properties. The proposed residential development is a creative development pattern that will provide 28 units of duplex and tri-plex housing on a unique property shape. The proposed planned district for this development would have smaller setbacks and greater lot coverage, while providing common green spaces as an amenity for the development. The proposed development would have a net density of 14.3 dwelling units per acre, while achieving the size and scale of the nearby single-family residential development. This optimization of density for the development should improve affordability and provide a buffer between the single-family residential development to the south and east and the high density residential development to the north.

f) Additional matters as might apply in individual cases.

As previously stated, the developer has also submitted an application for a final plat for Trailside Subdivision. These items are being considered concurrently.

STAFF COMMENTS: Staff recommends that the Planning Commission recommend **APPROVAL** to the City Council for the Request to Rezone the Trailside Village development, generally located to the southeast of the intersection of West Laux Drive and East 31st Street, from R-3, Multiple Family Residential District to RP-3, Multiple Family Residential Planned District, with the following conditions of approval;

1. The development will be limited to 28 dwelling units.
2. The permitted uses will be semi-attached and attached dwelling uses.
3. Front yard setbacks will be no closer than 11 ft from the property line.
4. Maximum lot coverage will not exceed 50 percent.
5. Lots 17 – 28 will gain their legal access from the adjacent alley way that connects to Trailside Drive.
6. The development will generally be constructed as proposed.

PREPARED BY: Ember Batelaan, City Planner

DATE: April 7, 2025

ATTACHMENTS:

1. Application materials
2. Proposed Trailside Subdivision Final Plat
3. 2025 Comprehensive Plan Future Land Use Map
4. 2025 Comprehensive Plan Future Land Use Category
5. Planned District Regulations

March 21, 2025

QUEEN CITY
development

Mr. Chad Bunger
Director of Development Services
City of Hastings
3505 Yost Avenue
Hastings, NE 68901

RE: Trailside Village Planned District

Mr. Bunger:

Thank you for your consideration of Trailside Village LLC's proposal to change the zoning designation of parcel 010018935 from R-3 Residential to RP-3, Multiple Family Residential (Planned District).

The existing parcel at E 31st Street and West Laux Drive is currently an undeveloped lot, intended for residential development by its current owner, the Hastings Economic Development Corporation. Pending approval of this zoning change, Trailside Village LLC would close on acquisition of the property and develop the site into semi-detached residential housing.

The site sits in a transitional area between high density multi-family apartments, semi-detached residential housing, and single family residential housing. The Planned District designation is required to allow smaller setbacks and greater lot coverage than is typically required for a residential use in order to bring density to the site and help to achieve a greater level of affordability for the development.

The Trailside Village is a pilot project, intended to innovatively address Nebraska's need for affordable housing. The build-to-rent community is intended to uniquely leverage the strengths and motivations of a progressive community, a leader in the manufactured housing industry, local development and construction expertise, and impact investing.

Duplex and triplex units will be developed as semi-detached single-family housing, allowing the housing units to be initially leased and ultimately sold to single family home buyers. This business model strategy encourages the development of a high quality, highly desirable, enduring housing development, that will create a positive community impact and will ultimately allow the opportunity for individuals and families to build equity and contribute to the strengthening of their community.

Each individual housing unit will be approximately 2,150 square feet, with 3 bedrooms, 2.5 bathrooms, and a full unfinished basement with an egress window and rough ins for future utility service and occupancy. The objective of the development is to lease the units, working to address "missing middle" housing, as well as to meet the housing demand of area employers looking to attract new people to Hastings.

In order to reach a level of affordability, density must be optimized on the site. That said, while many people are looking to rent housing in Hastings, not everyone desires to live in an apartment. Targeting semi-detached residential is consistent with neighboring properties to the south and west and works to enhance the overall health and housing offerings of Hastings.

The primary concerns have been the optimization of density to drive affordability, respect, spacing, and safety for the overall development, the optimization of common shared green spaces as an amenity for the development, and the ability to ultimately convert the units to owner-occupied housing in the future.

Specific deviations from standard R-3 zoning requirements that would be needed in this Planned District are as follows:

R-3 Requirements:
Front yard – 25 ft
Proposed: Setback is 11 ft.

Side yard – 10% (7 ft min, 25 ft max req)
Proposed: Setback is 8 ft.

Rear yard – 20% (up to 30')
Proposed: Setback is 32-34 ft.

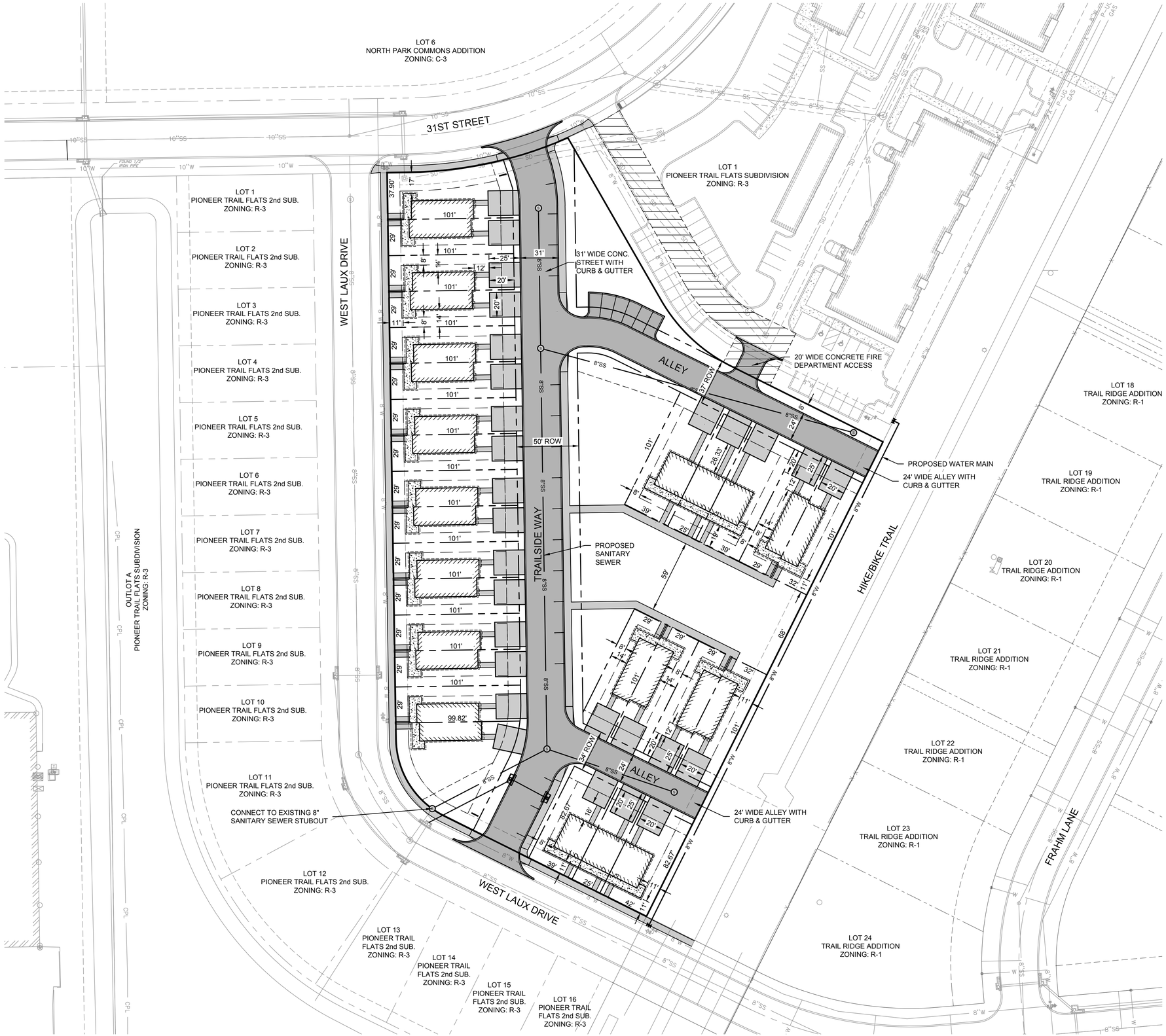
Max lot coverage 50%
Proposed: Less than 50%. Extensive common green space also exists on the site.

Site plans, architectural plans, and design renderings of the intended project are attached for your use. The developer intends to begin work in May of this year and anticipates substantial completion by December, 2025

Thank you for your thoughtful consideration.

Respectfully submitted,

DAVE RIPPE
Owner
Queen City Development Company
701 W 1st Street
Hastings, NE 68901



F:\2024\07001-07500\024-07078\40-Design\AutoCAD\Final Plans\Sheets\SDN\C_SIT01_02407078.dwg
DATE: Mar 13, 2025 4:24pm USER: lhusted

olsson
201 East 2nd Street
Grand Island, NE 68801
olsson.com
TEL 308.384.8750
FAX 308.384.8752
Olsson - Engineering
Nebraska COA #CA-0638

REV. NO.	DATE	DESCRIPTION

REVISIONS

SITE PLAN

TRAILSIDE SUBDIVISION

HASTINGS, NEBRASKA

2025

drawn by: LH
designed by: LH
project no.: 024-07078
date: 03-14-2025

SHEET
1 of 2

F:\2024\07001-075000\024-07078\40-Design\AutoCAD\Final Plans\Sheets\SDNIC_SIT01_02407078.dwg
DATE: Mar 13, 2025 4:25pm USER: lhusted

olsson

201 East 2nd Street
Grand Island, NE 68801

olsson.com
TEL 308.384.8750
FAX 308.384.8752

Olsson - Engineering
Nebraska COA #CA-0638

REVISIONS

REV. NO.	DATE	DESCRIPTION

LOT LAYOUT PLAN

TRAILSIDE SUBDIVISION

HASTINGS, NEBRASKA

2025

drawn by: LH
designed by: LH
project no.: 024-07078
date: 03-14-2025

SHEET
1 of 2

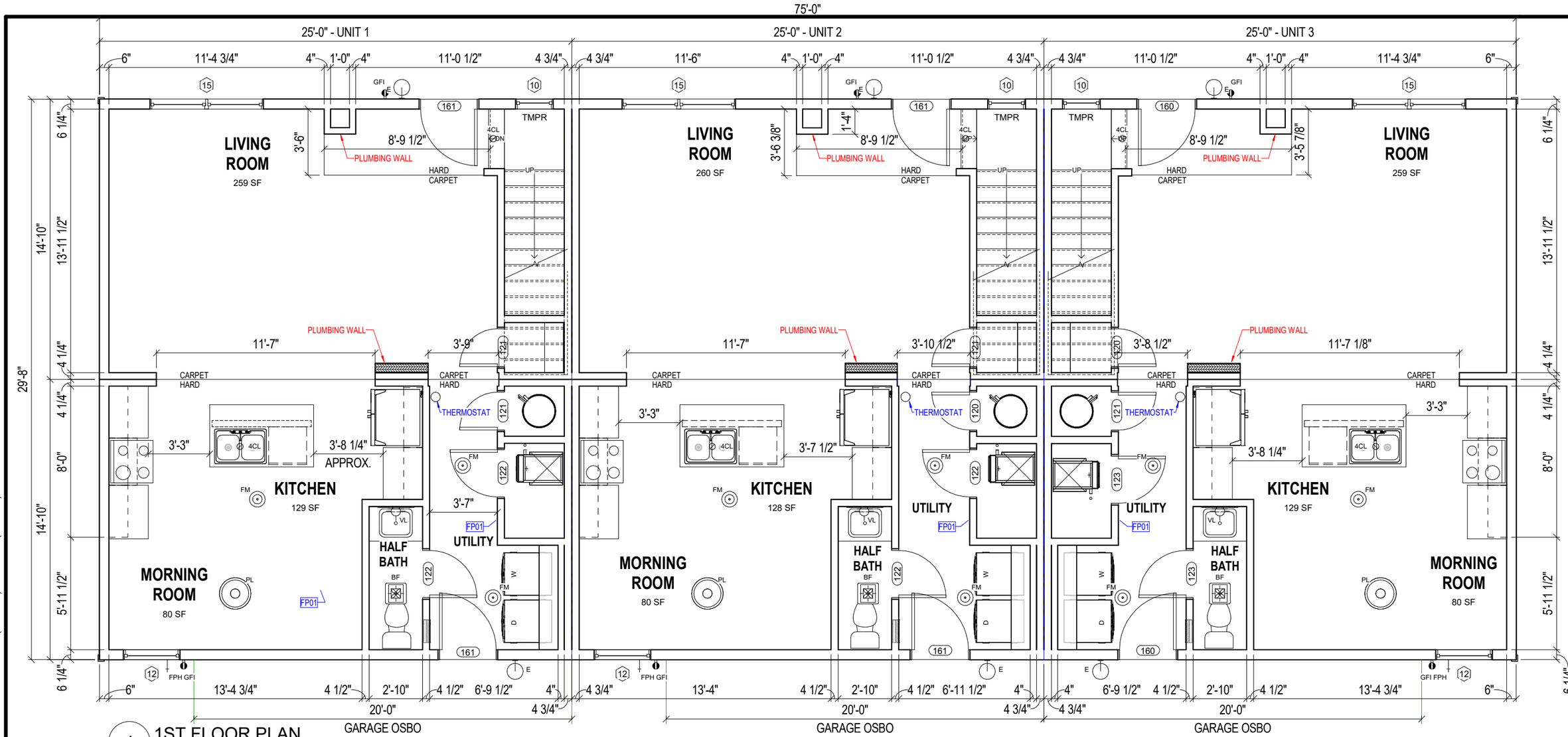
ABERDEEN

29'-8" x 75'-0"

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 227
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: CES
DATE: 02/11/12
DWG No.
00B

3/22/2024 1:15:38 PM T:\Brochure\2024 Plans\PREMIER Residentail Attached- TOWNHOME\75 ABERDEEN (TRIPLEX)\ABERDEEN (TRIPLEX) 2020.rvt



1 1ST FLOOR PLAN

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

EXTERIOR DOOR SCHEDULE					
ID #	QTY	DESCRIPTION	SWING	JAMB	COMMENTS
160	2	36"x80" 3-PANEL FIBERGLASS	RIGHT	6 1/4"	
161	4	36"x80" 3-PANEL FIBERGLASS	LEFT	6 1/4"	

INTERIOR DOOR SCHEDULE					
ID #	QTY	DESCRIPTION	SWING	JAMB	COMMENTS
120	2	24"x80"	RIGHT	4 1/2"	
121	4	24"x80"	LEFT	4 1/2"	
122	5	30"x80"	RIGHT	3"	
122	9	30"x80"	RIGHT	4 1/2"	
123	4	30"x80"	LEFT	3"	
123	12	30"x80"	LEFT	4 1/2"	

WINDOW SCHEDULE			
ID #	QTY	DESCRIPTION	COMMENTS
10	3	24"x36" S/H TEMPERED	
12	9	36"x60" S/H EGRESS	<varies>
15	6	DOUBLE 36"x60" S/H EGRESS	<varies>

LIGHTING FIXTURE SCHEDULE			
ID #	QTY	DESCRIPTION	COMMENTS
4CL	15	FIXED 4" CAN LIGHT	
AA	3	ATTIC ACCESS	
BF	9	BATHFAN/LIGHT COMBO	
E	6	EXTERIOR CLEAR GLASS LIGHT	
FM	18	FLUSH MOUNT LIGHT	
PL	3	PENDANT LIGHT	
VL	12	VANITY LIGHT	

ROOM SQ FT SCHEDULE	
Name	Area
1BCLO	29.50 SF
1BCLO	29.46 SF
1BCLO	29.50 SF
2BCLO	9.02 SF
2BCLO	8.98 SF
2BCLO	8.98 SF
2ND BEDROOM	100.20 SF
2ND BEDROOM	100.20 SF
2ND BEDROOM	101.17 SF
3BCLO	8.98 SF
3BCLO	9.02 SF
3BCLO	9.02 SF
3RD BEDROOM	100.00 SF
3RD BEDROOM	100.00 SF
3RD BEDROOM	100.00 SF
ENTRY	28.47 SF
ENTRY	28.47 SF
ENTRY	28.82 SF

ROOM SQ FT SCHEDULE	
Name	Area
FURN	15.90 SF
FURN	15.87 SF
FURN	15.87 SF
G CLO	8.41 SF
G CLO	8.41 SF
G CLO	8.41 SF
HALF BATH	21.49 SF
HALF BATH	21.49 SF
HALF BATH	21.49 SF
HALL 1	71.49 SF
HALL 1	71.51 SF
HALL 1	71.99 SF
KITCHEN	128.61 SF
KITCHEN	128.12 SF
KITCHEN	128.61 SF
LIVING ROOM	258.95 SF
LIVING ROOM	260.17 SF
LIVING ROOM	258.97 SF

ROOM SQ FT SCHEDULE	
Name	Area
MAIN BATH	40.36 SF
MAIN BATH	40.27 SF
MAIN BATH	40.36 SF
MASTER BATH	67.35 SF
MASTER BATH	67.41 SF
MASTER BATH	67.35 SF
MASTER BEDROOM	167.21 SF
MASTER BEDROOM	168.66 SF
MASTER BEDROOM	167.21 SF
MORNING ROOM	79.96 SF
MORNING ROOM	79.58 SF
MORNING ROOM	79.96 SF
UTILITY	69.03 SF
UTILITY	71.42 SF
UTILITY	69.03 SF
WH	8.41 SF
WH	8.44 SF
WH	8.44 SF
	3646.00 SF

LEGEND

- WALL FRAMING ELEVATION (1 / 01)
- KEYNOTE (FP01)
- 6" WALL THICKNESS
- HALF WALL
- ISLAND WALL (HEIGHT VARIES)

GENERAL NOTES

1. ALL CLOSETS TO BE 2'-0" DEEP U.N.O.
2. ALL SHELVING TO BE SINGLE SHELF W/ROD U.N.O.
3. ALL EXTERIOR WALLS TO BE 2x6 CONSTRUCTION U.N.O.
4. ALL DIMENSTION ARE TO EDGE OF GYP BOARD OR OSB U.N.O.

ABBREVIATIONS

DB	DRAWER BANK
DW	DISHWASHER
L	LINEN
P	PANTRY
PP	POTS & PANS PULLOUT
UNO	UNLESS OTHERWISE NOTED
W	WASHER
D	DRYER
DOV	DOUBLE OVEN CABINET
MWOV	MICROWAVE & OVEN CABIEN
OV	OVEN CABINET
MW	MICROWAVE OR MICROWAVE CABINET

KEYNOTES

FP01 RETURN AIR GRILLE
FP02 HEADERED OPENING

REV.	DATE	DESCRIPTION
A	04/30/21	BANK PACK
A	04/29/20	PRELIMINARY ISSUE

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF: 40 PSF
WIND: 115 VULT MPH
ZONE:

QUOTE NO:

PID:

CUSTOMER ABERDEEN

DEALER PREMIER

SITE ADDRESS GRAND ISLAND, NE

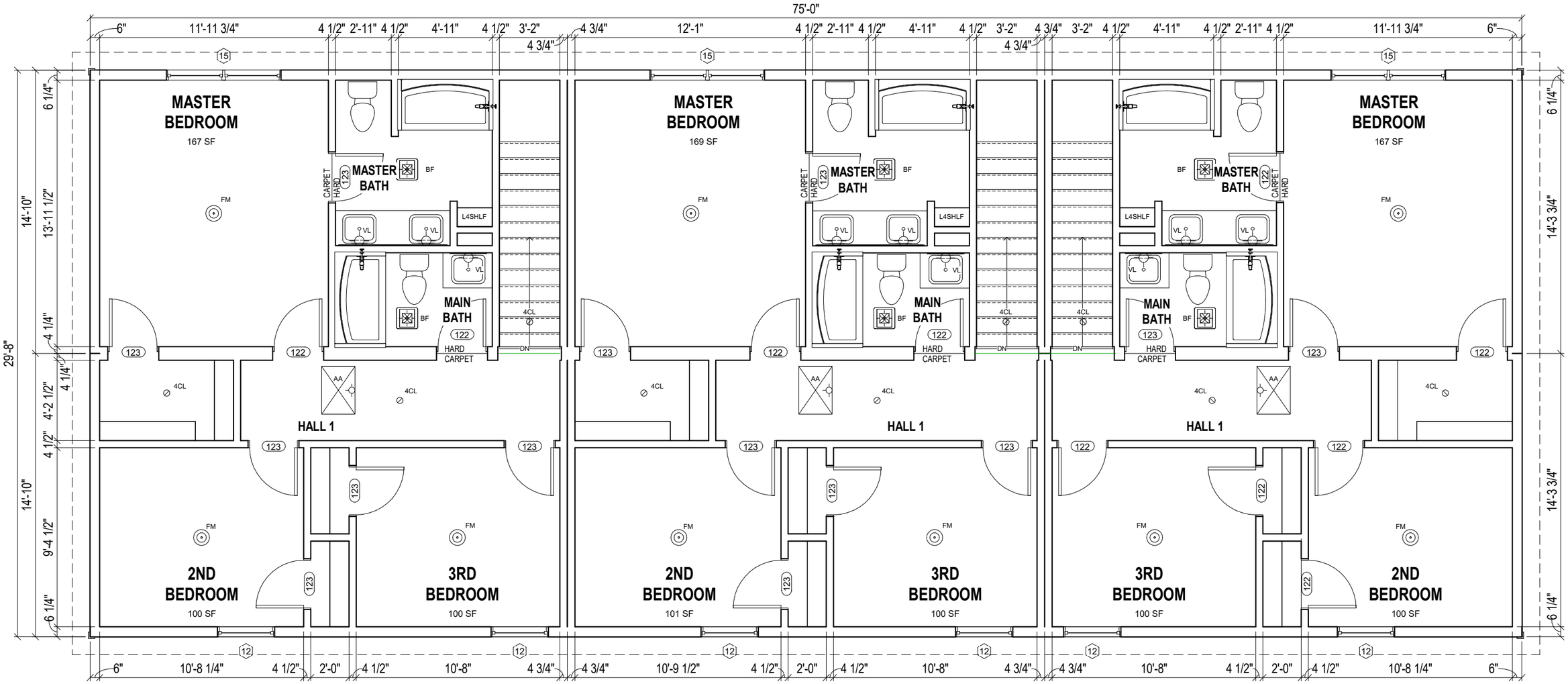
DRAWING TITLE 1ST FLOOR PLAN

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: CES
DATE: 02/11/12

DWG No. 01A

3/22/2024 1:15:40 PM T:\Brochure\2024 Plans\PREMIER Residentail Attached- TOWNHOME\75 ABERDEEN (TRIPLEX)\ABERDEEN (TRIPLEX) 2020.rvt



1 / 01B 2ND FLOOR PLAN

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

REV	DATE	DRAWN	DESCRIPTION
A	04/30/21	CES	BANK PACK
A	04/29/20	CES	PRELIMINARY ISSUE

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF: 40 PSF
WIND: ZONE: 115 VULT MPH

QUOTE NO:

PID:

CUSTOMER ABERDEEN

DEALER PREMIER

SITE ADDRESS GRAND ISLAND, NE

DRAWING TITLE 2ND FLOOR PLAN

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 370
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: CES
DATE: 02/11/12
DWG No. 01B

3/22/2024 1:15:42 PM T:\Brochure\2024 Plans\PREMIER Residentail Attached- TOWNHOME\75 ABERDEEN (TRIPLEX)\ABERDEEN (TRIPLEX) 2020.rvt

Q00 - BONNAVILLA - ZONE 4

1483 PER UNIT X 2 = 2966 SQ. FT.

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.

DEALER

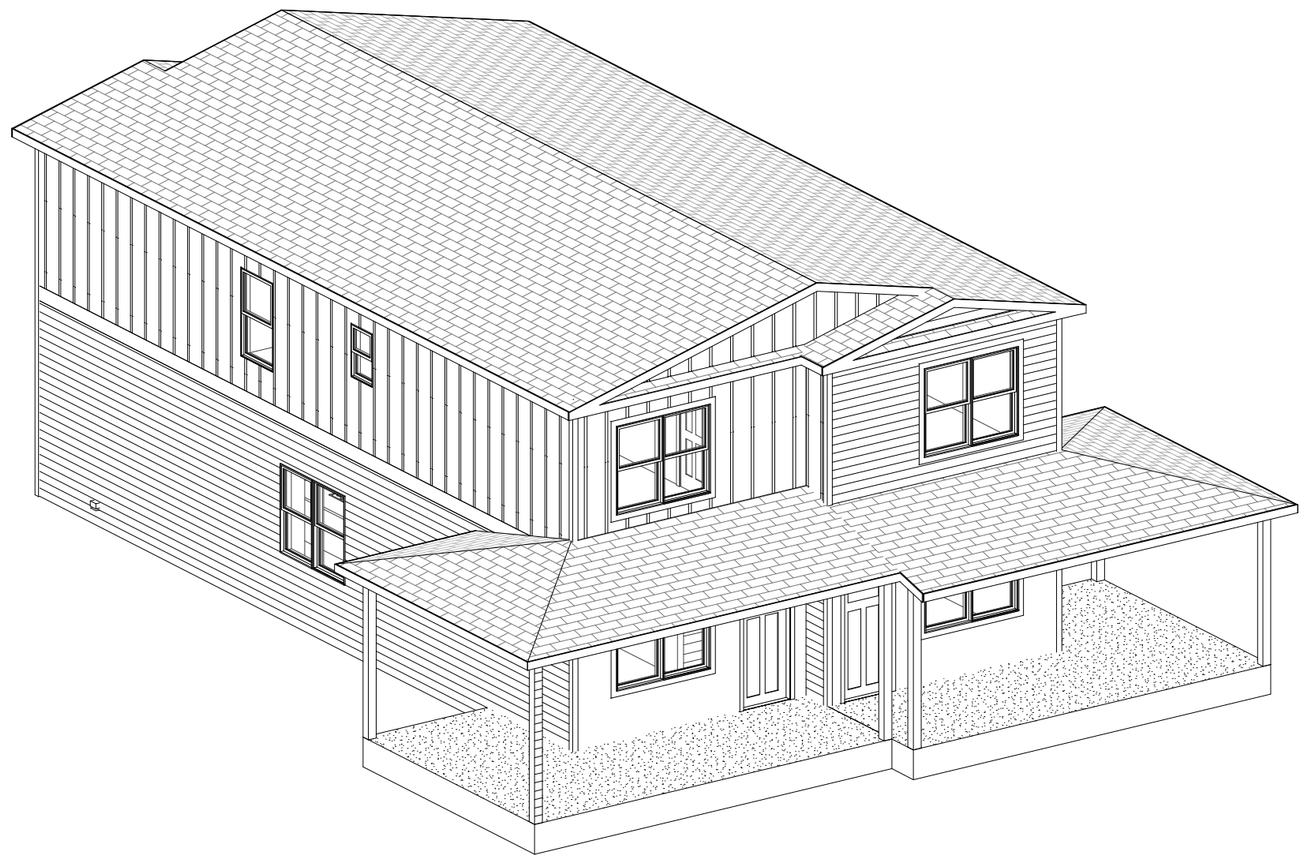
BONNAVILLA
111 GRANT STREET
P.O. BOX 127
AURORA, NE 68818
402.694.5250

CUSTOMER

ZONE 4
HASTINGS, NE 68901

SHEET LIST

NO.	SHEET NAME
00	COVER SHEET
01	1ST FLOOR PLAN
08	1ST FLR ELECTRICAL PLAN
08A	2ND FLR ELECTRICAL PLAN
09	EXTERIOR ELEVATIONS
09A	EXTERIOR ELEVATIONS
14	FOUNDATION PLAN
15	CABINET DETAILS - UNIT 1
15A	CABINET DETAILS - UNIT 2
16	BUILDING SECTION



REV.	DATE	DRN BY	DESCRIPTION
A	8/26/24	KSE	PRELIMINARY ISSUE

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

DRAWING TITLE COVER SHEET

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

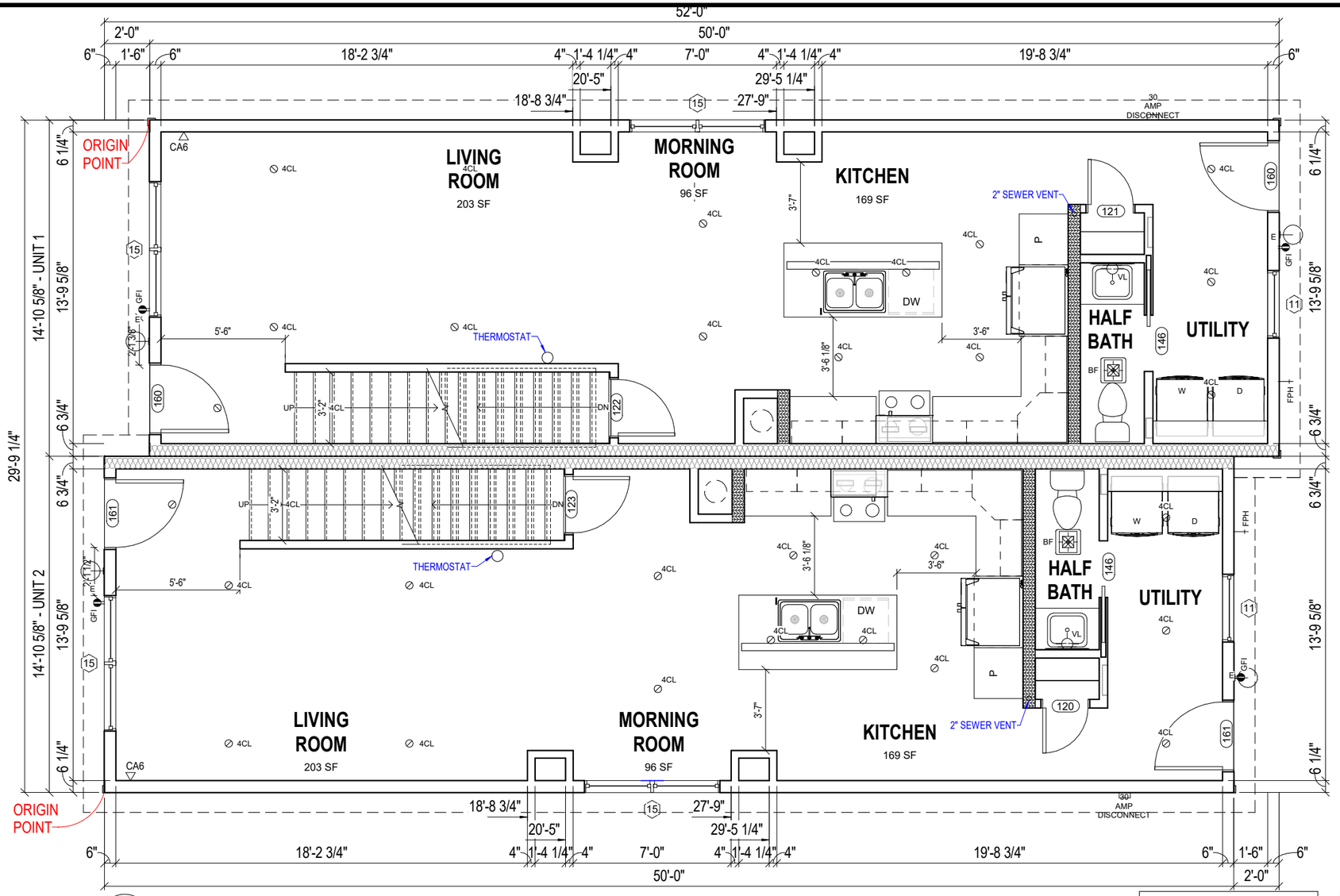
DWG No. 00

THESE DRAWINGS AND THE DESIGN SHOWN HAVE BEEN PREPARED FOR THIS SPECIFIC PROJECT AS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE SOLE PROPERTY OF BONNAVILLA HOMES AND THEIR CONSULTANTS. ANY REPRODUCTION, COPYING OR USE OTHER THAN FOR THIS SPECIFIC PROJECT IS PROHIBITED WITHOUT THE PRIOR WRITTEN CONSENT OF BONNAVILLA HOMES. ANY PROHIBITED USE OF THESE DRAWINGS OR DESIGN ARE SUBJECT TO LEGAL ACTION.

2/21/2025 11:57:22 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt

FLOOR A

FLOOR C



1 / 01 1ST FLOOR PLAN

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

LEGEND

- 01 — WALL FRAMING ELEVATION
- FP01 — KEYNOTE
- 6" WALL THICKNESS
- HALF WALL
- ISLAND WALL (HEIGHT VARIES)

GENERAL NOTES

1. ALL CLOSETS TO BE 2'-0" DEEP U.N.O.
2. ALL SHELVING TO BE SINGLE SHELF W/ROD U.N.O.
3. ALL EXTERIOR WALLS TO BE 2x6 CONSTRUCTION U.N.O.
4. ALL DIMENSTION ARE TO EDGE OF GYP BOARD OR OSB U.N.O.

ABBREVIATIONS

DB	DRAWER BANK
DW	DISHWASHER
L	LINEN
P	PANTRY
PP	POTS & PANS PULLOUT
UNO	UNLESS OTHERWISE NOTED
W	WASHER
D	DRYER
DOV	DOUBLE OVEN CABINET
MWOV	MICROWAVE & OVEN CABIENT
OV	OVEN CABINET
MW	MICROWAVE OR MICROWAVE CABINET

KEYNOTES

NOTE:
NEED LOCATIONS FOR
PANEL BOX DROP
WH & FURNACE
DISCONNECT BREAKER

EXTERIOR DOOR SCHEDULE

ID #	QTY	DESCRIPTION	SWING	JAMB	COMMENTS
160	2	36"x80" 3-PANEL FIBERGLASS	RIGHT	6"	
161	2	36"x80" 3-PANEL FIBERGLASS	LEFT	6"	

INTERIOR DOOR SCHEDULE

ID #	QTY	DESCRIPTION	SWING	JAMB	COMMENTS
120	1	24"x80"	RIGHT	4 1/2"	
121	1	24"x80"	LEFT	4 1/2"	
122	7	30"x80"	RIGHT	4 1/2"	
123	7	30"x80"	LEFT	4 1/2"	
146	2	30"x80" SINGLE POCKET	NA	4 1/2"	
148	4	48" BI-PASS DOORS	NA	4 1/2"	

WINDOW SCHEDULE

ID #	QTY	DESCRIPTION	COMMENTS
10	2	24"x36" S/H TEMPERED	
11	2	36"x36" S/H	
12	4	36"x60" S/H EGRESS	W/ LIMITERS
15	4	DOUBLE 36"x60" S/H EGRESS	
15	2	DOUBLE 36"x60" S/H EGRESS	W/ LIMITERS

LIGHTING FIXTURE SCHEDULE

ID #	QTY	DESCRIPTION	COMMENTS
4CL	44	FIXED 4" CAN LIGHT	
4CLW	4	WATERPROOF 4" CAN LIGHT	
BF	6	BATHFAN/LIGHT COMBO	
CFLED	2	CEILING FAN/LED LIGHT	
E	4	EXTERIOR CLEAR GLASS LIGHT	
FM	4	FLUSH MOUNT LIGHT	
VL	8	VANITY LIGHT	

ROOM SQ FT SCHEDULE

Name	Area
1BCLO	25.13 SF
1BCLO	25.13 SF
2BCLO	11.25 SF
2BCLO	11.25 SF
2ND BEDROOM	94.77 SF
2ND BEDROOM	94.77 SF
3BCLO	10.17 SF
3BCLO	10.17 SF
3RD BEDROOM	102.63 SF
3RD BEDROOM	102.63 SF
ENTRY	23.24 SF
ENTRY	29.34 SF
GCLO	5.19 SF
GCLO	5.19 SF
HALF BATH	22.67 SF
HALF BATH	22.67 SF
HALL 1	132.99 SF
HALL 1	132.99 SF
KITCHEN	168.59 SF
KITCHEN	168.59 SF

ROOM SQ FT SCHEDULE

Name	Area
LIVING ROOM	202.90 SF
LIVING ROOM	202.90 SF
MAIN BATH	52.86 SF
MAIN BATH	52.86 SF
MASTER BATH	76.45 SF
MASTER BATH	76.45 SF
MASTER BEDROOM	127.41 SF
MASTER BEDROOM	127.41 SF
MORNING ROOM	95.68 SF
MORNING ROOM	95.68 SF
STAIRS	37.84 SF
STAIRS	43.94 SF
UTILITY	82.23 SF
UTILITY	82.23 SF
	2556.17 SF

REV.	DATE	DRN BY	DESCRIPTION
A	8/26/24	KSE	PRELIMINARY ISSUE

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF: 40 PSF
ZONE:
WIND: 115 VULT MPH
ZONE:

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

DRAWING TITLE 1ST FLOOR PLAN

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

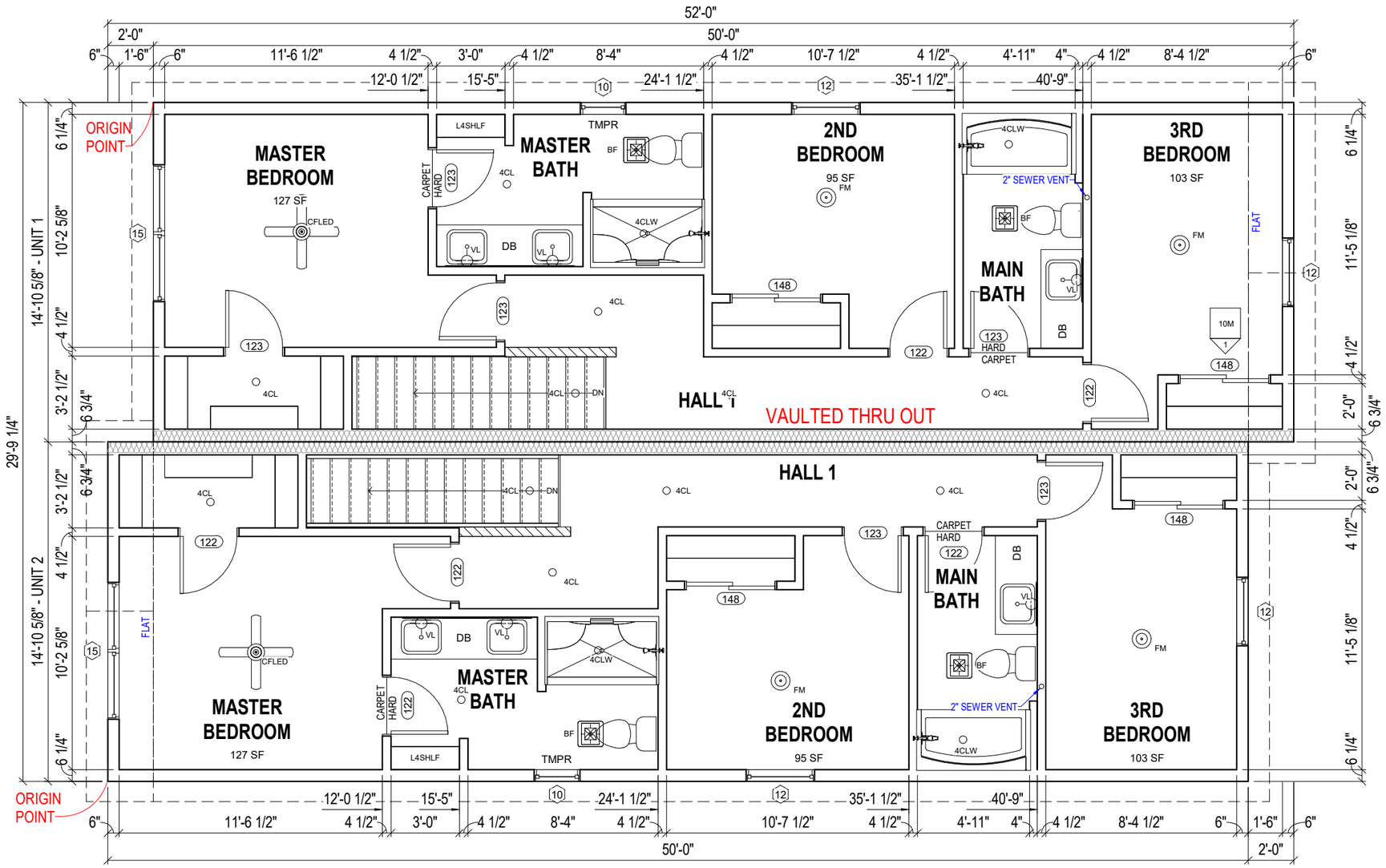
DRN. BY: KSE
DATE: 8/26/24

DWG No. 01

2/21/2025 11:57:25 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt

FLOOR B

FLOOR D



1 / 01A 2ND FLOOR PLAN

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

LEGEND

- 1 / 01 — WALL FRAMING ELEVATION
- FP01 — KEYNOTE
- 6" WALL THICKNESS
- HALF WALL
- ISLAND WALL (HEIGHT VARIES)

GENERAL NOTES

1. ALL CLOSETS TO BE 2'-0" DEEP U.N.O.
2. ALL SHELVING TO BE SINGLE SHELF W/ROD U.N.O.
3. ALL EXTERIOR WALLS TO BE 2x6 CONSTRUCTION U.N.O.
4. ALL DIMENSTION ARE TO EDGE OF GYP BOARD OR OSB U.N.O.

ABBREVIATIONS

DB	DRAWER BANK
DW	DISHWASHER
L	LINEN
P	PANTRY
PP	POTS & PANS PULLOUT
UNO	UNLESS OTHERWISE NOTED
W	WASHER
D	DRYER
DOV	DOUBLE OVEN CABINET
MWOV	MICROWAVE & OVEN CABIENT
OV	OVEN CABINET
MW	MICROWAVE OR MICROWAVE CABINET

KEYNOTES

ROOM SQ FT SCHEDULE

Name	Area
1BCLO	25.13 SF
1BCLO	25.13 SF
2BCLO	11.25 SF
2BCLO	11.25 SF
2ND BEDROOM	94.77 SF
2ND BEDROOM	94.77 SF
3BCLO	10.17 SF
3BCLO	10.17 SF
3RD BEDROOM	102.63 SF
3RD BEDROOM	102.63 SF
ENTRY	23.24 SF
ENTRY	29.34 SF
GCLO	5.19 SF
GCLO	5.19 SF
HALF BATH	22.67 SF
HALF BATH	22.67 SF
HALL 1	132.99 SF
HALL 1	132.99 SF
KITCHEN	168.59 SF
KITCHEN	168.59 SF
LIVING ROOM	202.90 SF
LIVING ROOM	202.90 SF
MAIN BATH	52.86 SF
MAIN BATH	52.86 SF
MASTER BATH	76.45 SF
MASTER BATH	76.45 SF
MASTER BEDROOM	127.41 SF
MASTER BEDROOM	127.41 SF
MORNING ROOM	95.68 SF
MORNING ROOM	95.68 SF
STAIRS	37.84 SF
STAIRS	43.94 SF
UTILITY	82.23 SF
UTILITY	82.23 SF
	2556.17 SF

INTERIOR DOOR SCHEDULE

ID #	QTY	DESCRIPTION	SWING	JAMB	COMMENTS
120	1	24"x80"	RIGHT	4 1/2"	
121	1	24"x80"	LEFT	4 1/2"	
122	7	30"x80"	RIGHT	4 1/2"	
123	7	30"x80"	LEFT	4 1/2"	
146	2	30"x80" SINGLE POCKET	NA	4 1/2"	
148	4	48" BI-PASS DOORS	NA	4 1/2"	

LIGHTING FIXTURE SCHEDULE

ID #	QTY	DESCRIPTION	COMMENTS
4CL	44	FIXED 4" CAN LIGHT	
4CLW	4	WATERPROOF 4" CAN LIGHT	
BF	6	BATHFAN/LIGHT COMBO	
CFLED	2	CEILING FAN/LED LIGHT	
E	4	EXTERIOR CLEAR GLASS LIGHT	
FM	4	FLUSH MOUNT LIGHT	
VL	8	VANITY LIGHT	

WINDOW SCHEDULE

ID #	QTY	DESCRIPTION	COMMENTS
10	2	24"x36" S/H TEMPERED	
11	2	36"x36" S/H	
12	4	36"x60" S/H EGRESS	W/ LIMITERS
15	4	DOUBLE 36"x60" S/H EGRESS	
15	2	DOUBLE 36"x60" S/H EGRESS	W/ LIMITERS

REV.	DATE	DRN BY	DESCRIPTION
A	8/26/24	KSE	PRELIMINARY ISSUE

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF ZONE: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

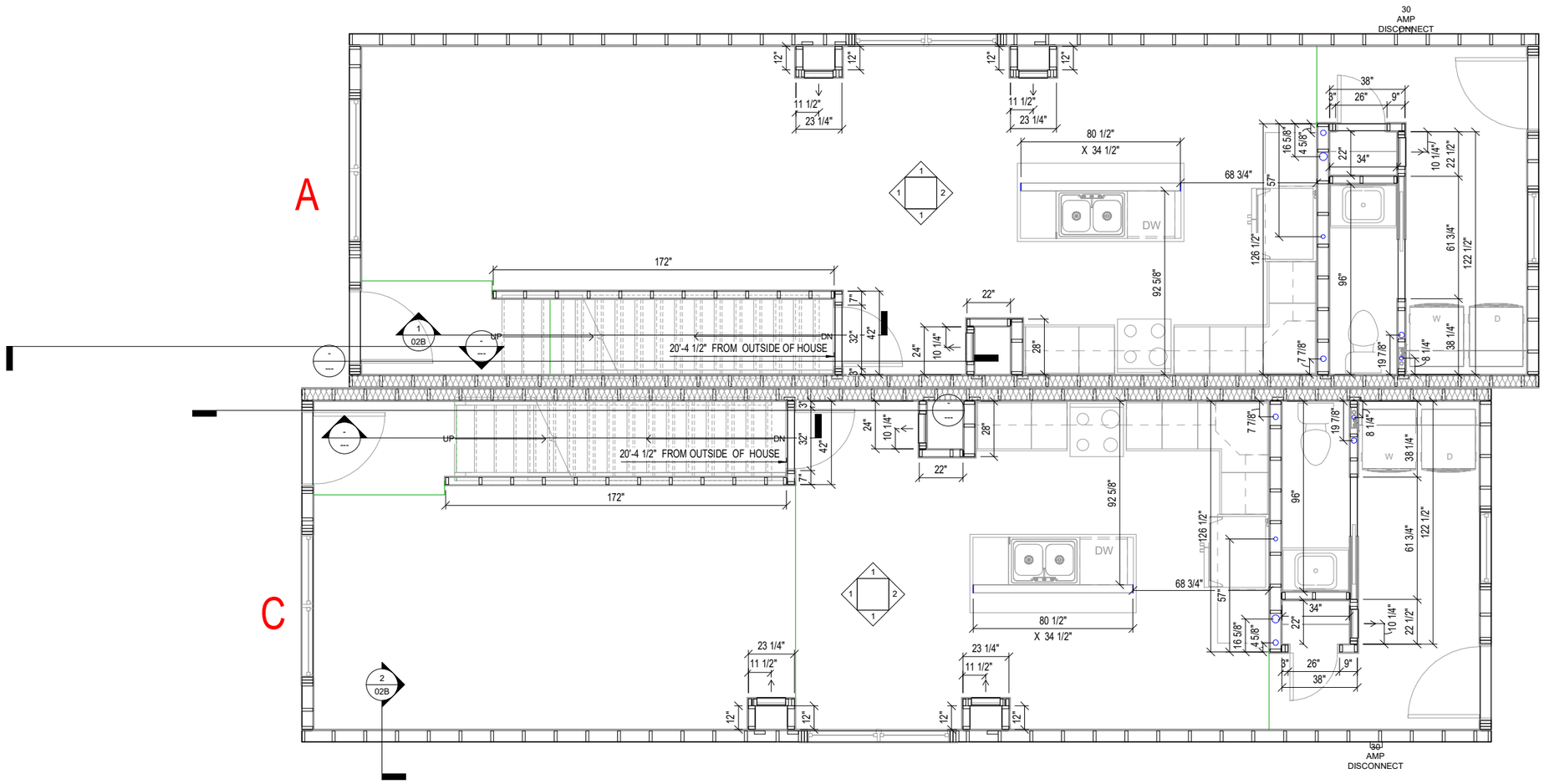
DRAWING TITLE 2ND FLOOR PLAN

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

DWG No. 01A

2/21/2025 11:57:27 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



1 / 02 PARTITION PLAN 1ST FLR

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

REV.	DATE	DRN BY	DESCRIPTION
A	8/26/24	KSE	PRELIMINARY ISSUE

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF LOAD: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

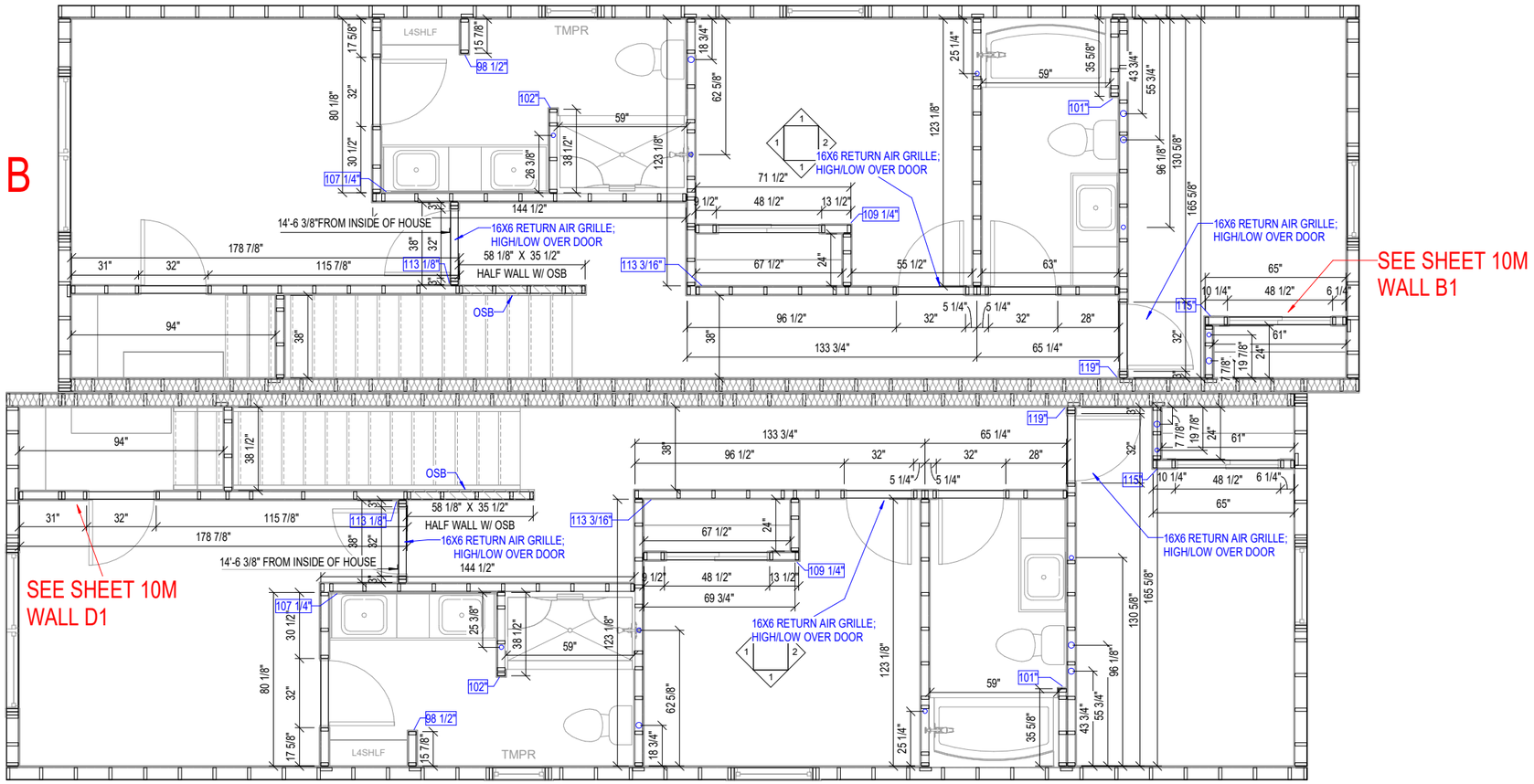
DRAWING TITLE 1ST FLR PARTITIONS PLAN

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

DWG No. 02

2/21/2025 11:57:28 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



1 / 02A 2ND FLOOR PLAN

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

REV.	DATE	DRN BY	DESCRIPTION

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

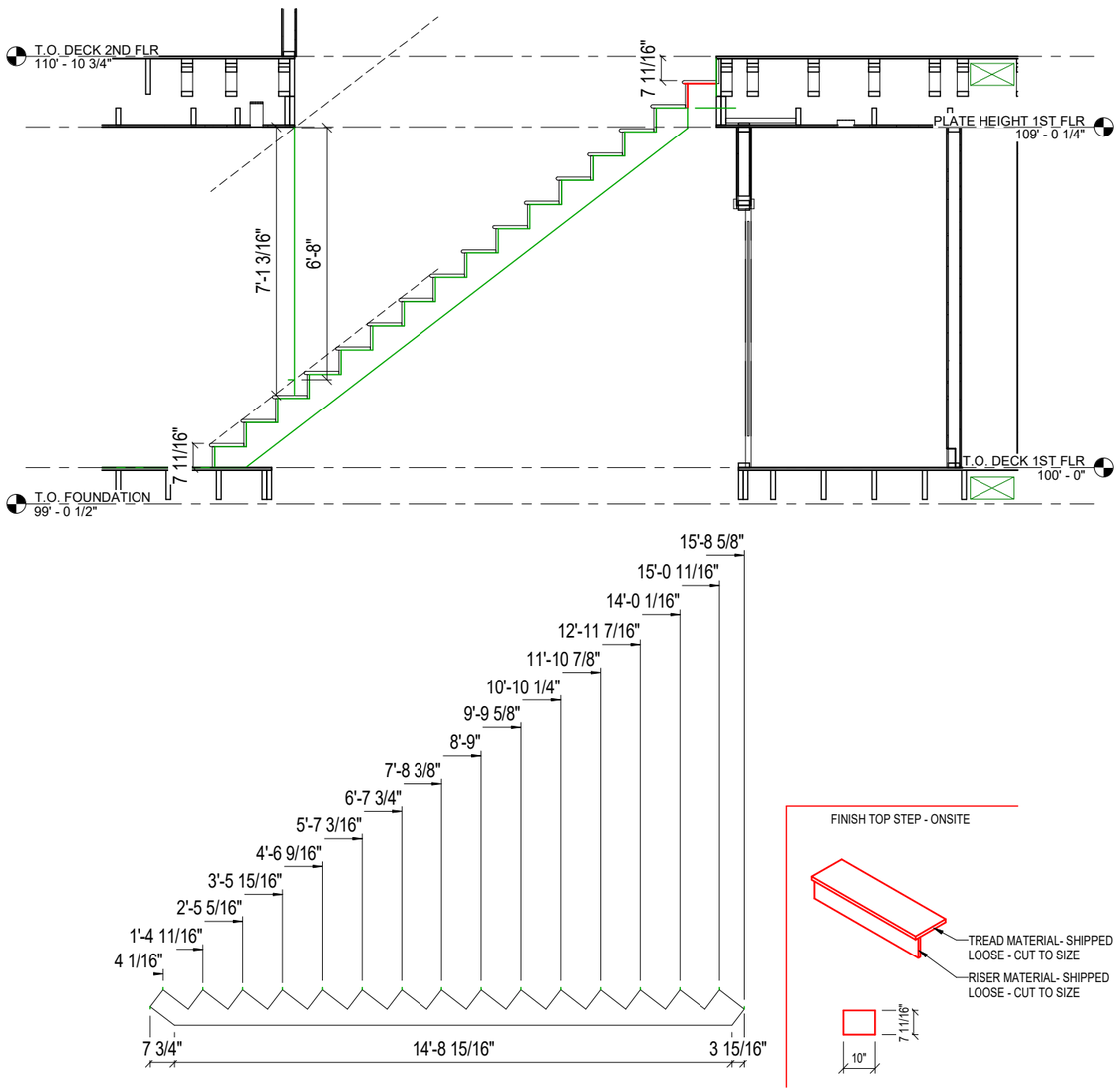
DRAWING TITLE 2ND FLR PARTITIONS PLAN

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

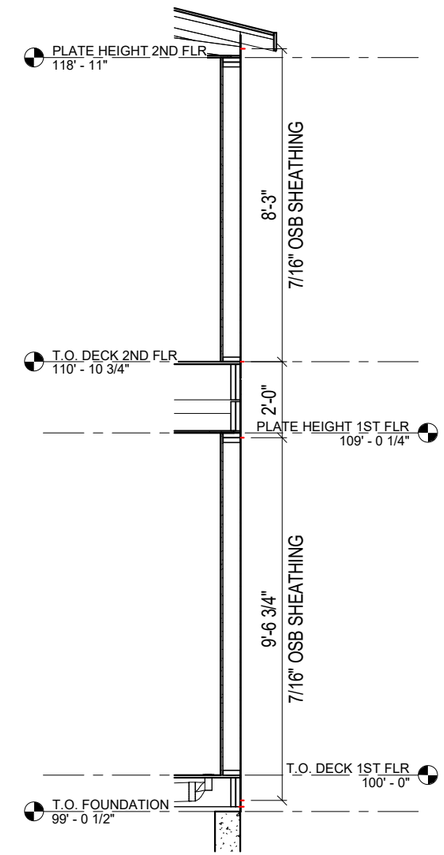
DWG No. 02A

2/21/2025 11:57:29 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



1 STAIR SECTION

STAIR NOTES:
1. TOP STAIR IS BUILT AND INSTALLED ONSITE
2. TOP 3 TREADS ARE SHIPPED LOOSE TO ALLOW FOR MODIFICATION ONSITE IF NEEDED



2 SHEATHING SECTION

REV.	DATE	DRN BY	DESCRIPTION

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF LOAD: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

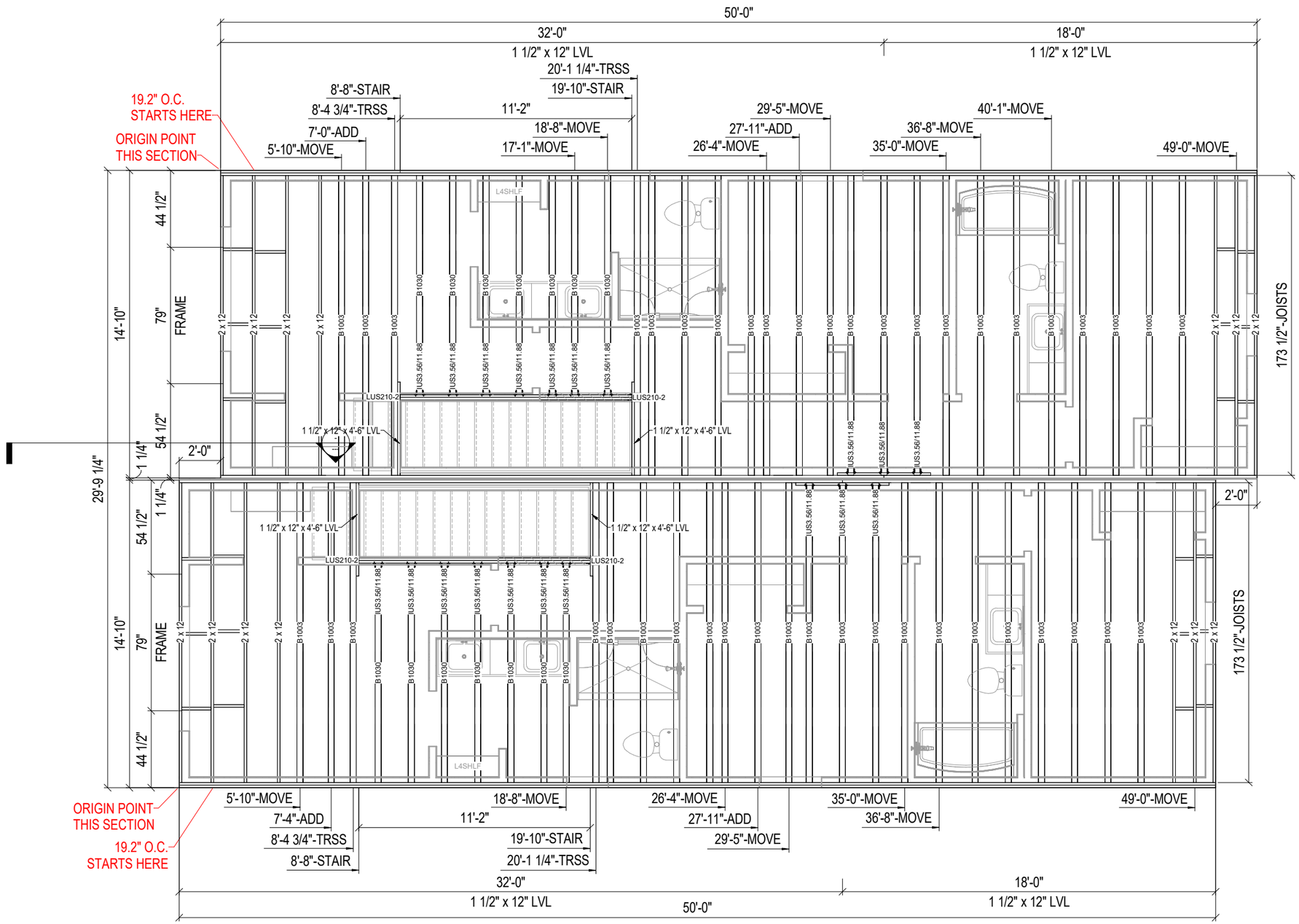
DRAWING TITLE DETAILS

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

DWG No. 02B

2/21/2025 11:57:30 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



1 / 03A FLOOR FRAMING PLAN 2ND FLR

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

FLOOR FRAMING NOTES:

1. ALL FLOOR TRUSSES ARE 11 7/8" w/ 2 x 4 TOP & BOTTOM CHORD.
2. DIMENSIONS TO MOVED OR ADDED MEMBERS ARE TO CENTERLINE OF MEMBER.
3. MARRIAGE LINE RIM JOIST TO BE 2 x 12 LVL.
4. EXTERIOR WALL RIM JOIST TO BE (2) 2 x 12 U.N.O.
5. FULL HEIGHT BLOCKING REQUIRED IN FIRST TWO JOIST CAVITIES AT EACH END OF THE STRUCTURE, SUCH BLOCKING TO BE A MAXIMUM 48" O.C.
6. BLOCKING MAY BE DRILLED THROUGH TO PASS ANY PLUMBING OR ELECTRICAL LINES. PROVIDE SIMPSON C16 STRAPPING ON EDGE SIDE OF BLOCKING IF HOLES ARE DRILLED WITHIN 1/4" OF EDGE OR PENETRATE EDGE.
7. 2 x 4 BLOCKING TO BE PLACED FLUSH WITH TOP OF TRUSS WHEN SPREAD MORE THAN 19.2" O.C. WITH 5/8" DECKING.

FLOOR FRAMING SCHEDULE 2ND FLR

PART	ID #	QTY	Description	Build Location
292227	2x12 DL	7	2x12x173 1/2 Floor Joists #2 (SPF)	FLOOR B
292227	2x12 DL	7	2x12x173 1/2 Floor Joists #2 (SPF)	FLOOR D

FLOOR TRUSS SCHEDULE

PART	UFP#	QTY	Description	Build Location
303	B1030	7	UFP #B1030 - FT - 11 7/8" x 10' 6 7/8" x 4" - OC	FLOOR B
303	B1030	7	UFP #B1030 - FT - 11 7/8" x 10' 6 7/8" x 4" - OC	FLOOR D
303289	B1003	22	UFP #B1003 - FT - 11 7/8" x 14'-5 1/2" x 4" - CC	FLOOR B
303289	B1003	22	UFP #B1003 - FT - 11 7/8" x 14'-5 1/2" x 4" - CC	FLOOR D

FLOOR FRAMING CONNECTOR SCHEDULE 2ND FLR

PART	ID #	QTY	Build Location
594333	IUS3.56/11.88	10	FLOOR B
594333	IUS3.56/11.88	10	FLOOR D
580703	LUS210-2	2	FLOOR B
580703	LUS210-2	2	FLOOR D

REV.	DATE	DRN BY	DESCRIPTION

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF: 40 PSF
ZONE:
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

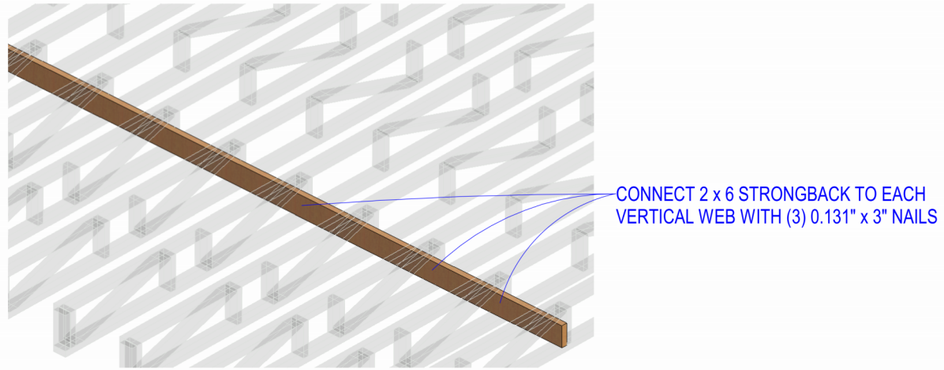
DRAWING TITLE 2ND FLR FLOOR FRAMING

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

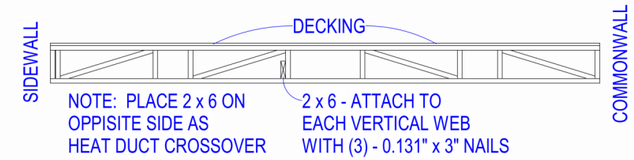
DRN. BY: KSE
DATE: 8/26/24

DWG No. 03A

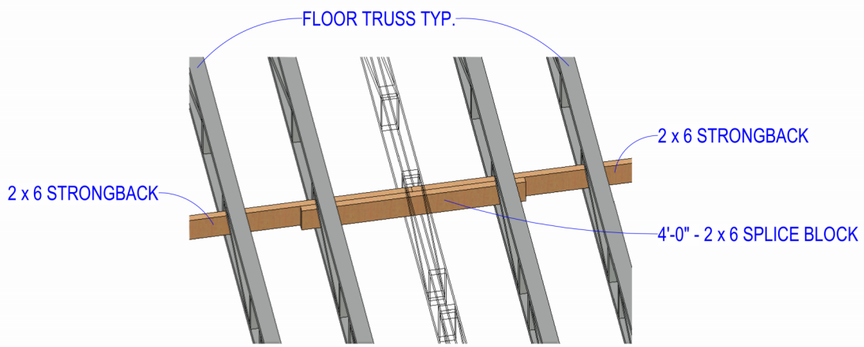
2/21/2025 11:57:32 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



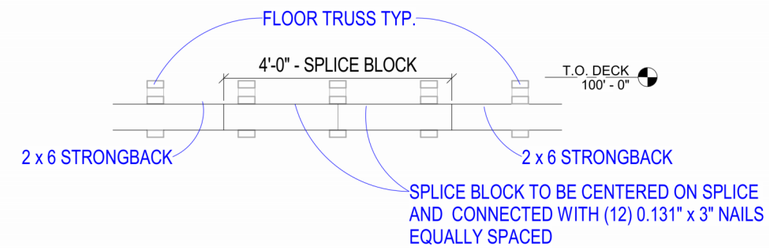
1 FLOOR TRUSS STRONGBACK CONNECTION DETAIL



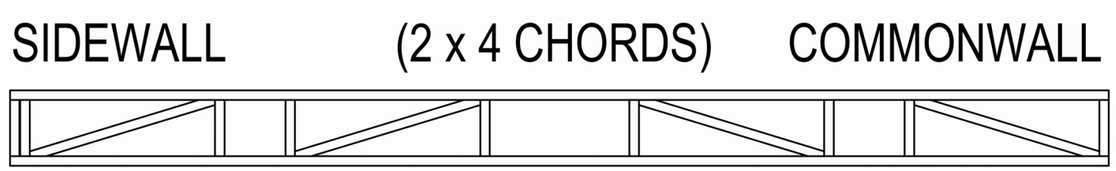
2 FLOOR TRUSS STRONGBACK SECTION



3 FLOOR TRUSS STRONGBACK SPLICE DETAIL



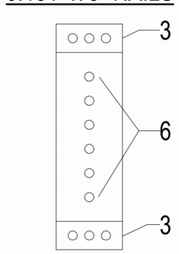
4 STRONGBACK SPLICE DETAIL



NOTE: FLIP END FOR END @ COMMONWALL SPLICE

5 B1003 TRUSS PROFILE

TRUSS FLOOR
NAILING PATTERN
@ COMMONWALL
0.131" x 3" NAILS

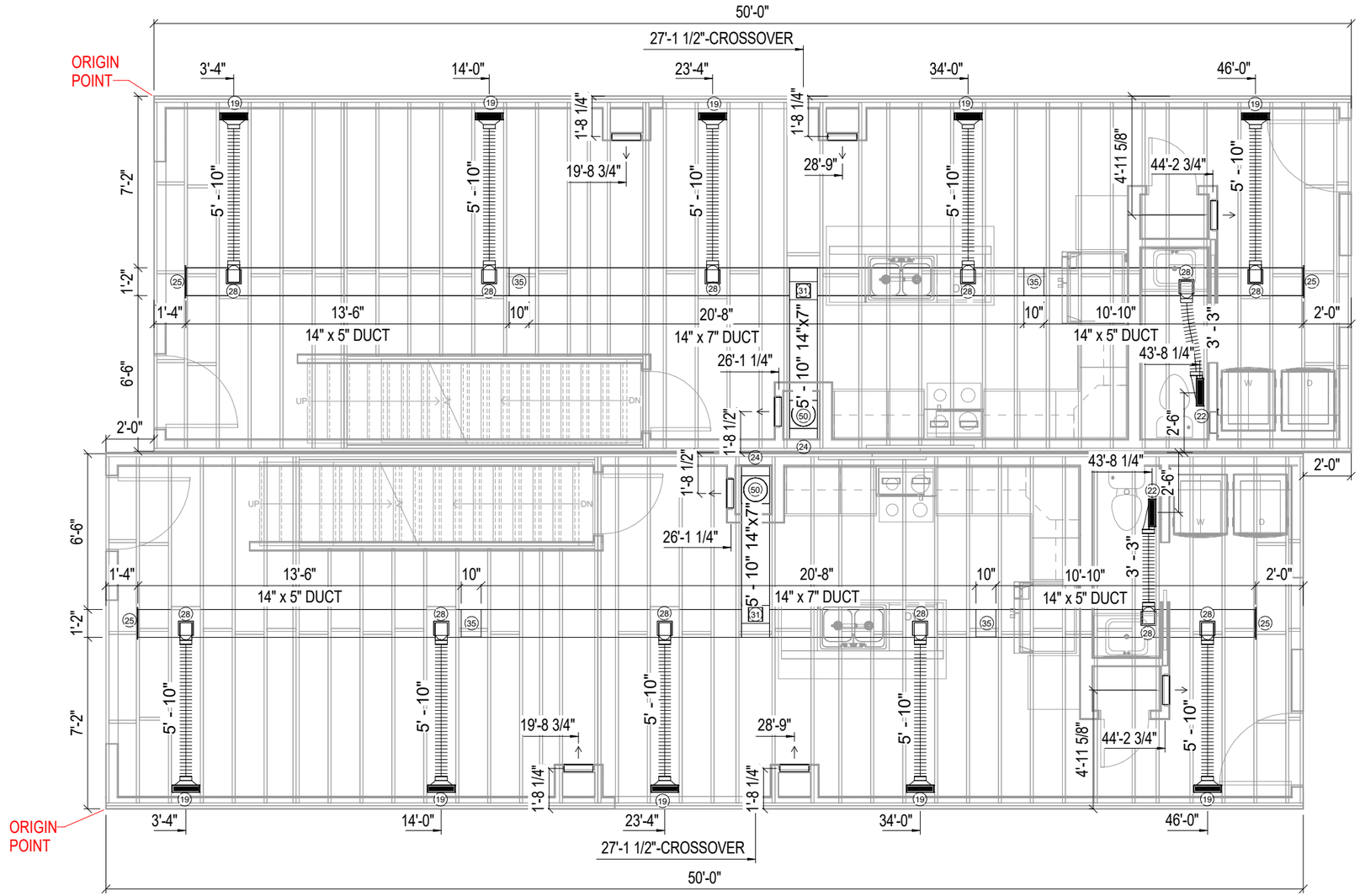


6 FLOOR TRUSS NAILING PATTERN

2/21/2025 11:57:35 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt TRUSS DETAILS - 12-19-24\B1003 FLOOR TRUSS DETAILS.rvt

HVAC NOTES:

1. ALL REGISTERS ARE 9" FROM EXTERIOR WALL U.N.O.



1 / 04 MECHANICAL HVAC PLAN 1ST FLR

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

DUCT FITTING SCHEDULE 1ST FLR

ID #	QTY	DESCRIPTION	Build Location
19	5	2 1/4x12x6 90 DEGREE BOOT	FLOOR A
19	5	2 1/4x12x6 90 DEGREE BOOT	FLOOR C
22	1	2 1/4x12x6 INLINE BOOT LEFT SIDE	FLOOR A
22	1	2 1/4x12x6 INLINE BOOT LEFT SIDE	FLOOR C
24	1	7x14 GALVANIZED ENDCAP	FLOOR A
24	1	7x14 GALVANIZED ENDCAP	FLOOR C
25	2	5x14 GALVANIZED ENDCAP	FLOOR A
25	2	5x14 GALVANIZED ENDCAP	FLOOR C
28	6	6 ALUMINUM TOP TAKE OFF	FLOOR A
28	6	6 ALUMINUM TOP TAKE OFF	FLOOR C
31	1	7x14 CROSSOVER TRANSITION	FLOOR A
31	1	7x14 CROSSOVER TRANSITION	FLOOR C
35	2	7x14 TO 5x14 DUCT TRANSITION	FLOOR A
35	2	7x14 TO 5x14 DUCT TRANSITION	FLOOR C
50	1	12x14 DUCT ADAPTER W/ FLANGE	FLOOR A
50	1	12x14 DUCT ADAPTER W/ FLANGE	FLOOR C

REV.	DATE	DRN BY	DESCRIPTION
A	8/26/24	KSE	PRELIMINARY ISSUE

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF LOAD: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

DRAWING TITLE 1ST FLR MECHANICAL HVAC PLAN

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

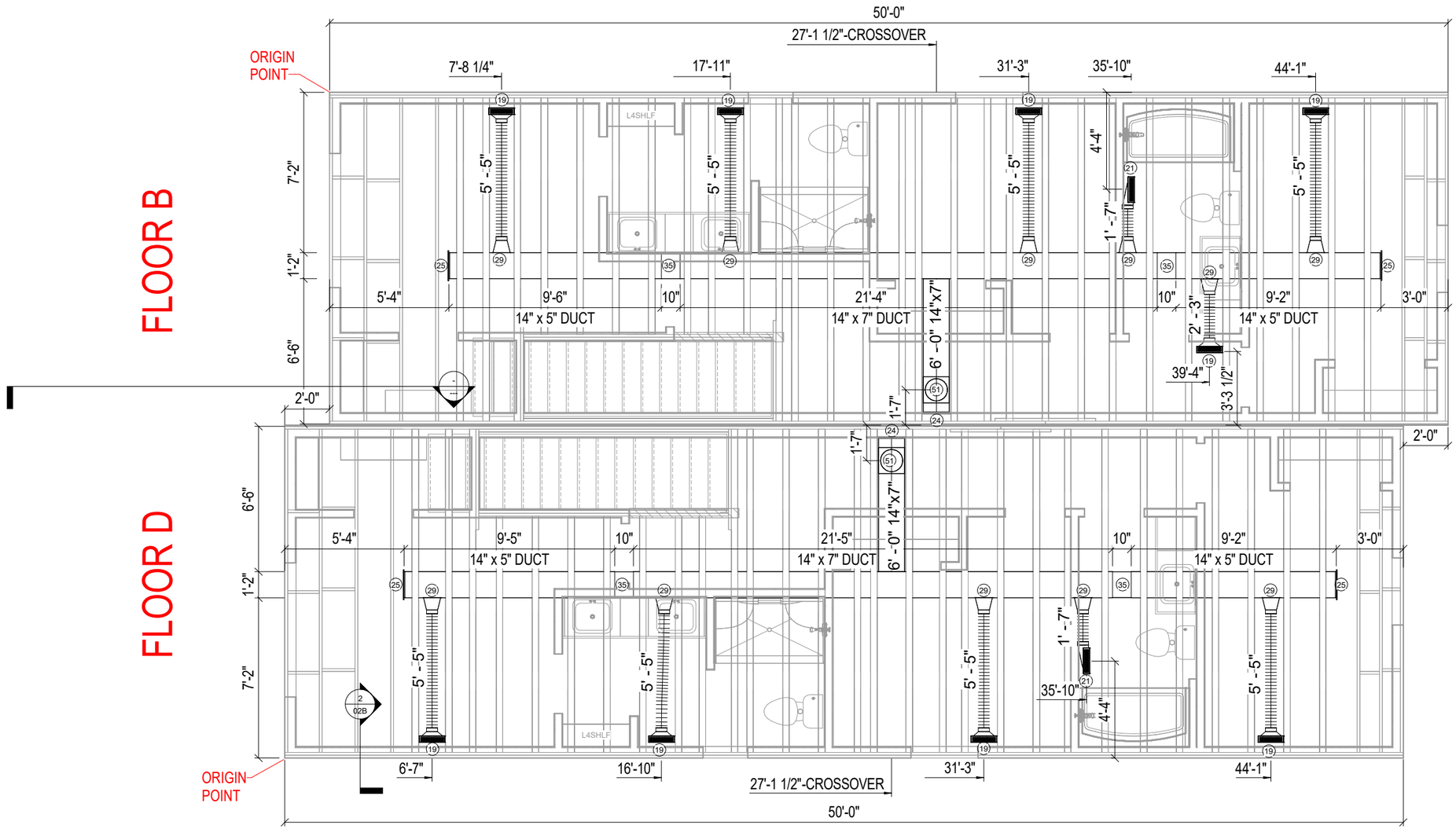
DRN. BY: KSE
DATE: 8/26/24

DWG No. 04

2/21/2025 11:57:36 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt

HVAC NOTES:

1. ALL REGISTERS ARE 9" FROM EXTERIOR WALL U.N.O.



1 / 04A MECHANICAL HVAC PLAN 2ND FLR

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

DUCT FITTING SCHEDULE 2ND FLR

ID #	QTY	DESCRIPTION	Build Location
19	5	2 1/4x12x6 90 DEGREE BOOT	FLOOR B
19	4	2 1/4x12x6 90 DEGREE BOOT	FLOOR D
21	1	2 1/4x12x6 INLINE BOOT RIGHT SIDE	FLOOR B
21	1	2 1/4x12x6 INLINE BOOT RIGHT SIDE	FLOOR D
24	1	7x14 GALVANIZED ENDCAP	FLOOR B
24	1	7x14 GALVANIZED ENDCAP	FLOOR D
25	2	5x14 GALVANIZED ENDCAP	FLOOR B
25	2	5x14 GALVANIZED ENDCAP	FLOOR D
29	6	6 SIDE TAKE OFF-ALUMINUM	FLOOR B
29	5	6 SIDE TAKE OFF-ALUMINUM	FLOOR D
35	2	7x14 TO 5x14 DUCT TRANSITION	FLOOR B
35	2	7x14 TO 5x14 DUCT TRANSITION	FLOOR D
51	1	4x14 DUCT ADAPTER W/ FLANGE	FLOOR B
51	1	4x14 DUCT ADAPTER W/ FLANGE	FLOOR D

REV.	DATE	DRN BY	DESCRIPTION

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF: 40 PSF
ZONE:
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

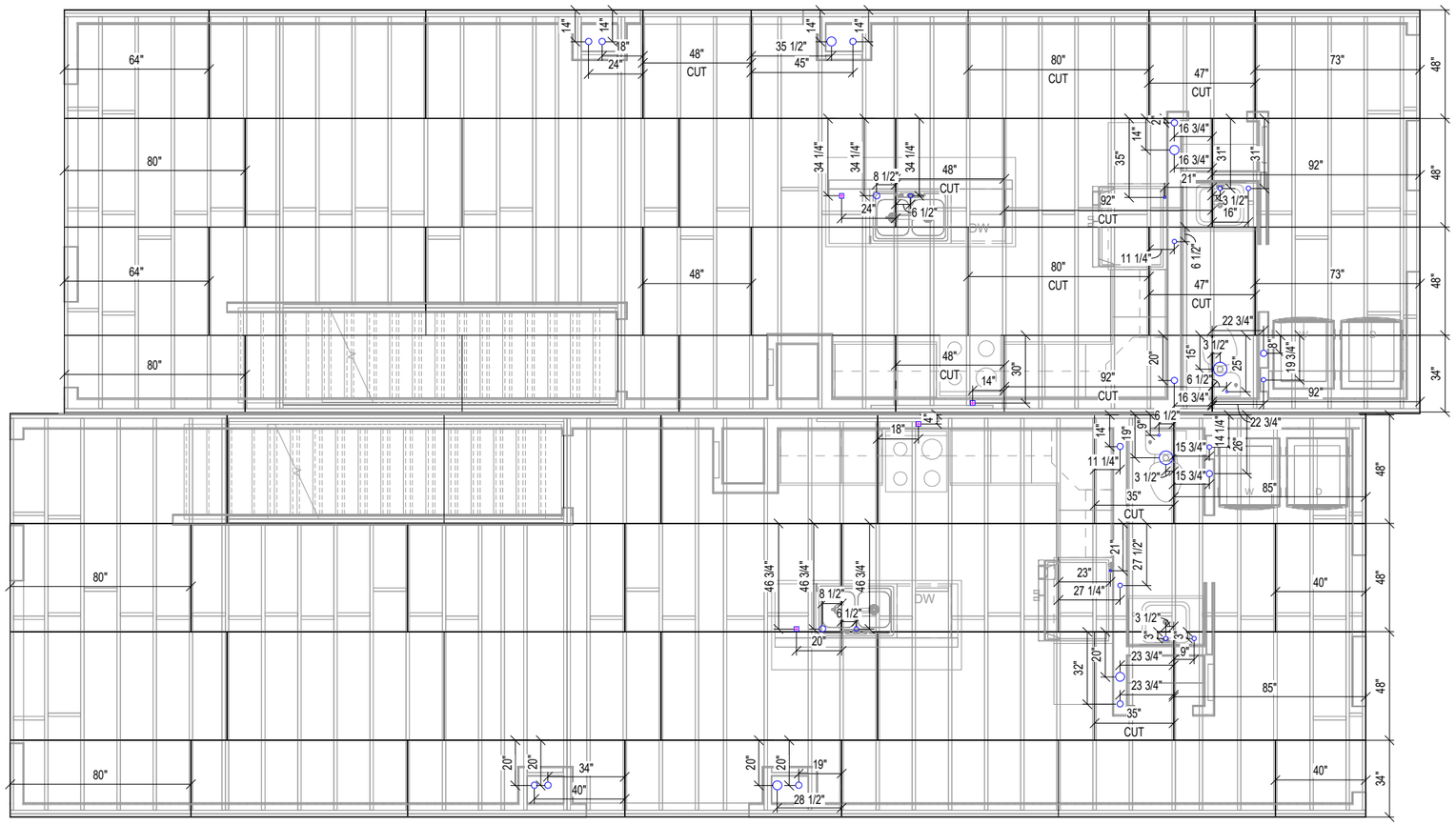
DRAWING TITLE 2ND FLR MECHANICAL HVAC PLAN

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

DWG No. 04A

2/21/2025 11:57:38 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



1
05
DECKING PLAN 1ST FLR

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

48" DECKING

REV.	DATE	DRN BY	DESCRIPTION
A	8/26/24	KSE	PRELIMINARY ISSUE

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF ZONE: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

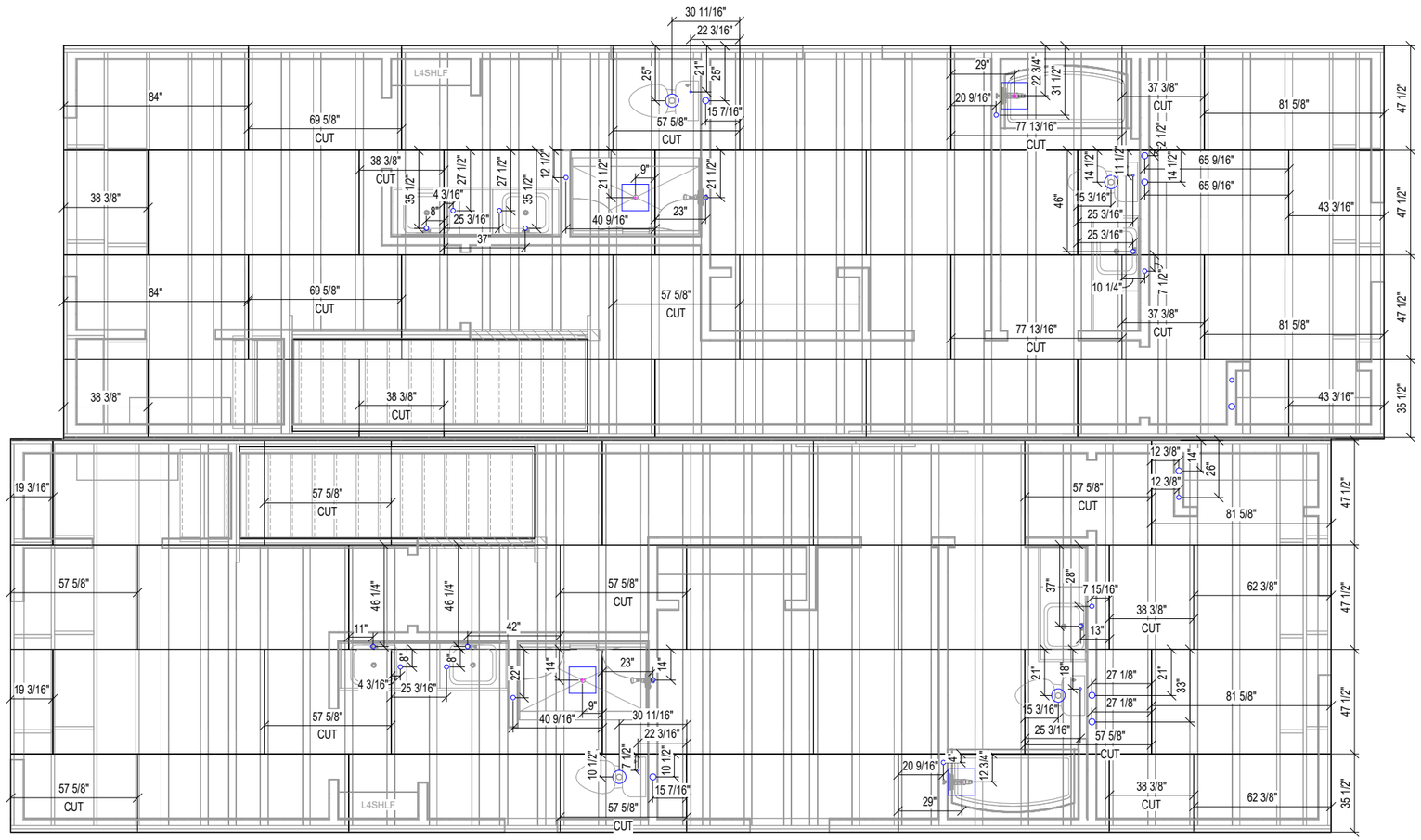
DRAWING TITLE 1ST FLR DECKING PLAN

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

DWG No. 05

2/21/2025 11:57:39 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



1
05A

DECKING PLAN 2ND FLR

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

REV.	DATE	DRN BY	DESCRIPTION

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF LOAD: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

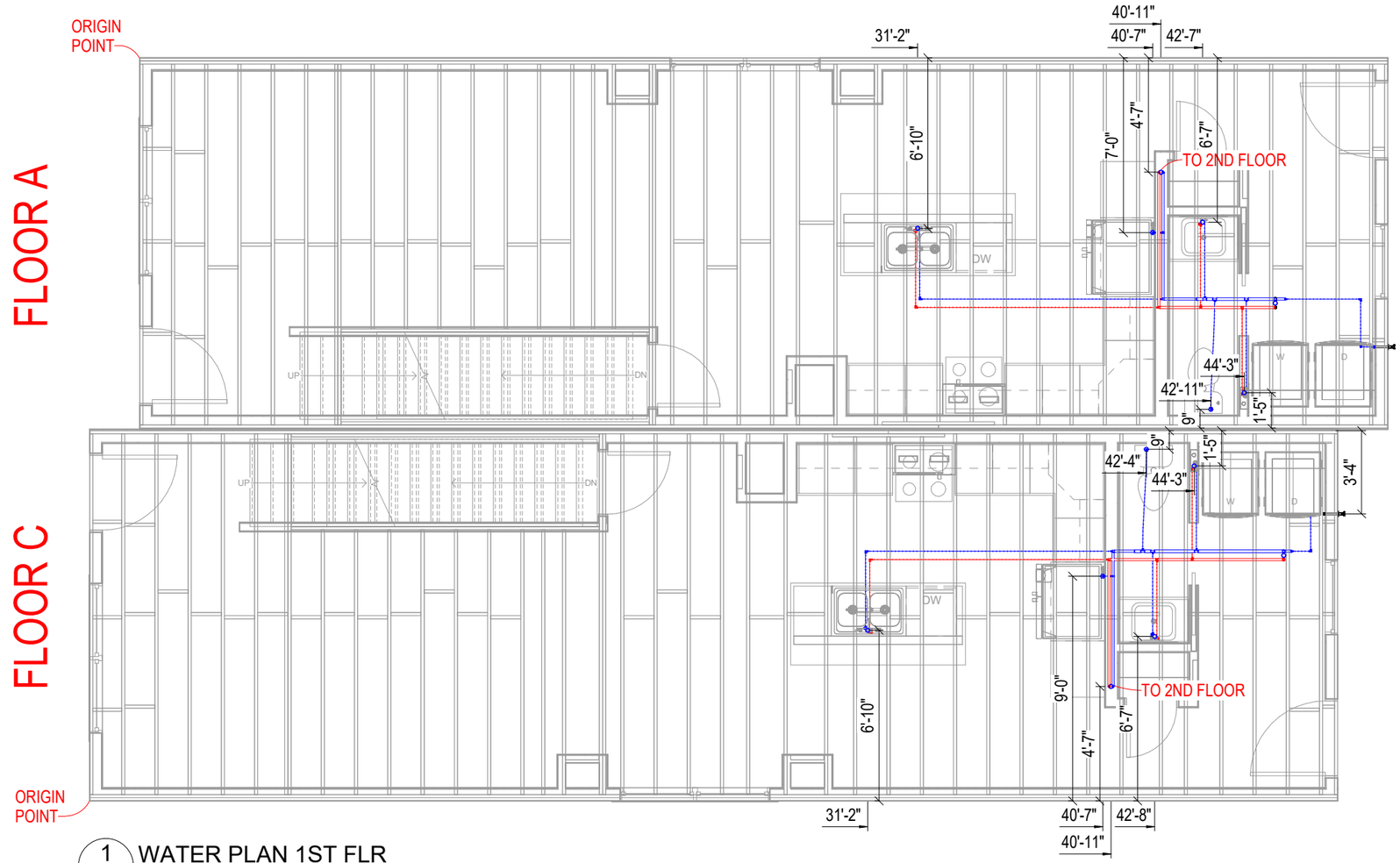
DRAWING TITLE 2ND FLR DECKING PLAN

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

DWG No. 05A

2/21/2025 11:57:39 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt

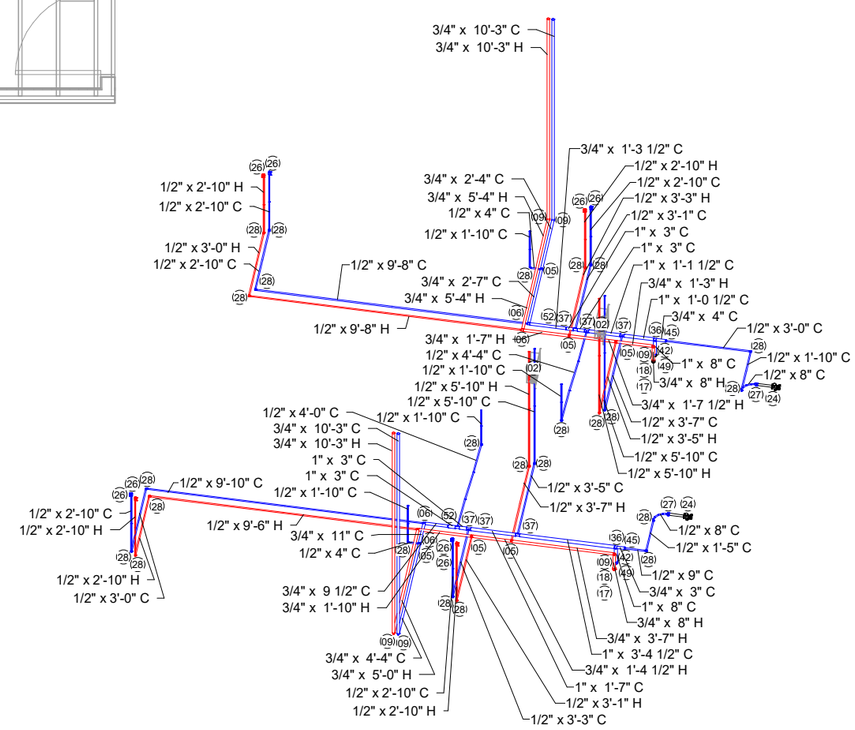


1 / 06 WATER PLAN 1ST FLR

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

WATER NOTES:

1. ALL WATER PIPING IS PEX AND CONFORMS TO ASTM F-876 UNLESS OTHERWISE NOTED.
2. DIMENSIONS ARE FROM CENTER TO CENTER OF FITTINGS.
3. ANTI-SCALD DEVICE INSTALLED PER UPC ON ALL SHOWERS AND TUB/SHOWERS.
4. APPLIANCES ARE TO BE INSTALLED, COMPLETED & INSPECTED ON SITE BY A LICENSED PROFESSIONAL TO LOCAL REQUIREMENTS.
5. WITH A PRESSURE RANGE OF 50-60 PSI AND A MAX DEVELOPED LENGTH OF 100', MAIN WATER INLET MUST BE 1" IN SIZE.
6. PLAN VIEW FOR REFERENCE ONLY. USE ISOMETRIC FOR LINE CONSTRUCTION.
7. IF ICEMAKER IS ORDERED WITH HOME THE KIT INCLUDES SHUT-OFF AND WATER HAMMER ARRESTOR.
8. WASHER BOX INCLUDES SHUT-OFF FOR HOT & COLD LINES.
9. INSULATION FOR HOT WATER PIPE WITH A MINIMUM THERMAL RESISTANCE OF R-3 SHALL BE APPLIED TO **ALL** 3/4" NOMINAL DIAMETER AND LARGER.
10. THE WATER CLOSETS ARE SUPPLIES WITH A SHUTOFF THAT IS ADDED AT TIME OF THE INSTALLATION OF WATER CLOSET.
11. SUPPLY LINE STRAPPING IS SUPPORTED EVERY 32".
12. THE LEAD CONTENT IN PIPE AND FITTINGS SHALL NOT BE GREATER THAN 8 PERCENT.
13. IF DISHWASHER IS ORDERED WITH HOME - IT INCLUDES A SHUT-OFF AND WATER HAMMER ARRESTOR



1ST FLOOR WATER FITTING SCHEDULE			
ID #	QTY	DESCRIPTION	Comments
02	2	WASHER BOX w/WATER HAMMER ARRESTOR/SHUT-OFF	1ST FLOOR WATER
05	6	3/4Bx3/4Bx1/2B RED TEE	1ST FLOOR WATER
06	4	3/4Bx1/2Bx3/4B RED TEE	1ST FLOOR WATER
09	6	3/4Bx3/4B ELBOW	1ST FLOOR WATER
17	2	3/4 DUST CAP & CHAIN	1ST FLOOR WATER
18	1	3/4MPTx3/4B	1ST FLOOR WATER
24	2	LAWN FAUCET W/VAC BREAK	1ST FLOOR WATER
26	8	1/2 B IN-LINE SHUT OFF	1ST FLOOR WATER
27	2	1/2BxSTUB COUPLING	1ST FLOOR WATER
28	24	1/2Bx1/2B ELBOW	1ST FLOOR WATER
36	2	3/4x1x1 BARB TEE	1ST FLOOR WATER
37	6	1x1x1/2 BARB TEE	1ST FLOOR WATER
42	1	1Bx1MPT	1ST FLOOR WATER
45	2	3/4Bx1/2B REDUCING COUPLING	1ST FLOOR WATER
49	2	1 DUST CAP & CHAIN	1ST FLOOR WATER
52	2	1x3/4 REDUCED COUPLING	1ST FLOOR WATER

1ST FLOOR FLEX PIPE SCHEDULE				
DIAMETER	LENGTH	SYSTEM TYPE	Build Location	Comments
1/2"	44' - 7 3/4"	C	FLOOR A	1ST FLOOR WATER
1/2"	41' - 11 3/4"	C	FLOOR C	1ST FLOOR WATER
1/2"	30' - 11 1/8"	H	FLOOR A	1ST FLOOR WATER
1/2"	30' - 7 1/8"	H	FLOOR C	1ST FLOOR WATER

1ST FLOOR WATER PIPE SCHEDULE					
Diameter	LENGTH	SYSTEM TYPE	Flex/PVC	Build Location	Comments
3/4"	16' - 9 7/8"	C	FLEX	FLOOR A	1ST FLOOR WATER
1"	3' - 3 7/8"	C	FLEX	FLOOR A	1ST FLOOR WATER
3/4"	16' - 7"	C	FLEX	FLOOR C	1ST FLOOR WATER
1"	6' - 1 3/4"	C	FLEX	FLOOR C	1ST FLOOR WATER
3/4"	20' - 8 3/4"	H	FLEX	FLOOR A	1ST FLOOR WATER
3/4"	22' - 8 3/4"	H	FLEX	FLOOR C	1ST FLOOR WATER

REV.	DATE	DRN BY	DESCRIPTION
A	8/26/24	KSE	PRELIMINARY ISSUE

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF LOAD: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

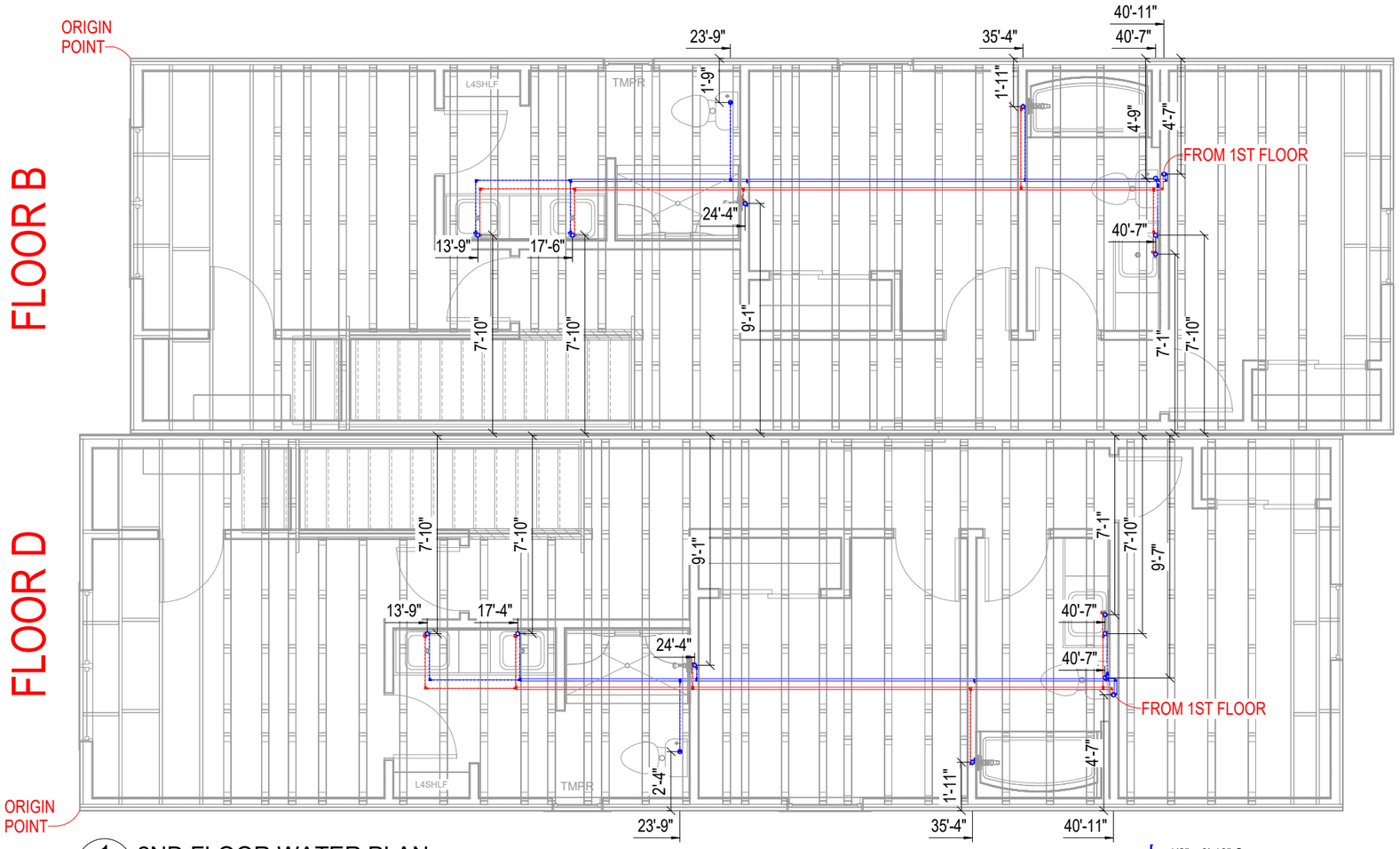
SITE ADDRESS HASTINGS, NE

DRAWING TITLE 1ST FLR WATER PLAN & ISOMETRIC

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

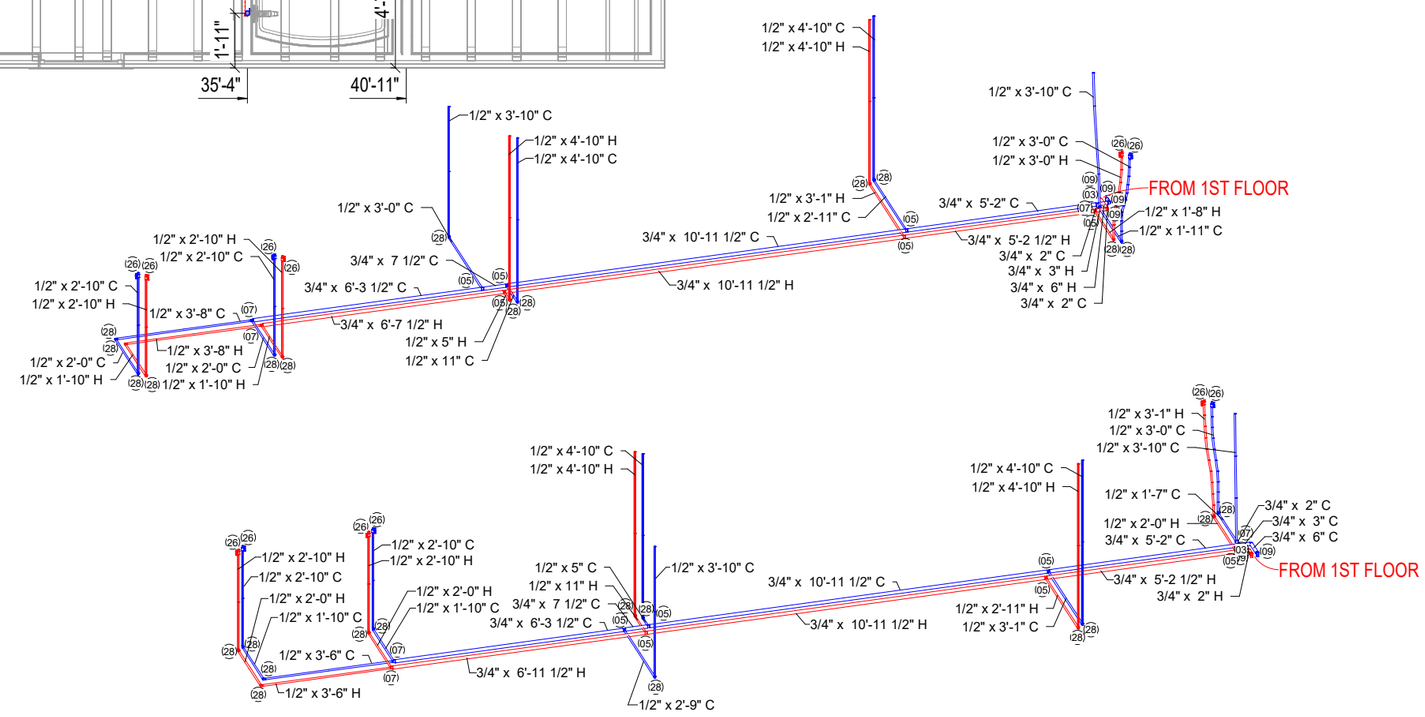
DRN. BY: KSE
DATE: 8/26/24
DWG No. 06

2/21/2025 11:57:42 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



1 / 06A 2ND FLOOR WATER PLAN

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"



WATER NOTES:

1. ALL WATER PIPING IS PEX AND CONFORMS TO ASTM F-876 UNLESS OTHERWISE NOTED.
2. DIMENSIONS ARE FROM CENTER TO CENTER OF FITTINGS.
3. ANTI-SCALD DEVICE INSTALLED PER UPC ON ALL SHOWERS AND TUB/SHOWERS.
4. APPLIANCES ARE TO BE INSTALLED, COMPLETED & INSPECTED ON SITE BY A LICENSED PROFESSIONAL TO LOCAL REQUIREMENTS.
5. WITH A PRESSURE RANGE OF 50-60 PSI AND A MAX DEVELOPED LENGTH OF 100', MAIN WATER INLET MUST BE 1" IN SIZE.
6. PLAN VIEW FOR REFERENCE ONLY. USE ISOMETRIC FOR LINE CONSTRUCTION.
7. IF ICEMAKER IS ORDERED WITH HOME THE KIT INCLUDES SHUT-OFF AND WATER HAMMER ARRESTOR.
8. WASHER BOX INCLUDES SHUT-OFF FOR HOT & COLD LINES.
9. INSULATION FOR HOT WATER PIPE WITH A MINIMUM THERMAL RESISTANCE OF R-3 SHALL BE APPLIED TO **ALL** 3/4" NOMINAL DIAMETER AND LARGER.
10. THE WATER CLOSETS ARE SUPPLIES WITH A SHUTOFF THAT IS ADDED AT TIME OF THE INSTALLATION OF WATER CLOSET.
11. SUPPLY LINE STRAPPING IS SUPPORTED EVERY 32".
12. THE LEAD CONTENT IN PIPE AND FITTINGS SHALL NOT BE GREATER THAN 8 PERCENT.
13. IF DISHWASHER IS ORDERED WITH HOME - IT INCLUDES A SHUT-OFF AND WATER HAMMER ARRESTOR

2ND FLOOR FLEX PIPE SCHEDULE

DIAMETER	LENGTH	SYSTEM TYPE	Build Location	Comments
1/2"	42' - 7 5/8"	C	FLOOR B	2ND FLOOR WATER
1/2"	41' - 2 1/4"	C	FLOOR D	2ND FLOOR WATER
1/2"	30' - 11 5/8"	H	FLOOR B	2ND FLOOR WATER
1/2"	31' - 10 1/4"	H	FLOOR D	2ND FLOOR WATER

2ND FLOOR WATER PIPE SCHEDULE

Diameter	LENGTH	SYSTEM TYPE	Flex/PVC	Build Location	Comments
3/4"	23' - 7 1/4"	C	FLEX	FLOOR B	2ND FLOOR WATER
3/4"	23' - 11 1/4"	C	FLEX	FLOOR D	2ND FLOOR WATER
3/4"	23' - 6 1/4"	H	FLEX	FLOOR B	2ND FLOOR WATER
3/4"	23' - 6 1/4"	H	FLEX	FLOOR D	2ND FLOOR WATER

2ND FLOOR WATER FITTING SCHEDULE

ID #	QTY	DESCRIPTION	Comments
03	2	3/4Bx3/4Bx3/4B TEE	2ND FLOOR WATER
05	12	3/4Bx3/4Bx1/2B RED TEE	2ND FLOOR WATER
07	6	3/4Bx1/2Bx1/2B RED TEE	2ND FLOOR WATER
09	8	3/4Bx3/4B ELBOW	2ND FLOOR WATER
26	12	1/2 B IN-LINE SHUT OFF	2ND FLOOR WATER
28	26	1/2Bx1/2B ELBOW	2ND FLOOR WATER

REV.	DATE	DRN BY	DESCRIPTION

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF ZONE: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

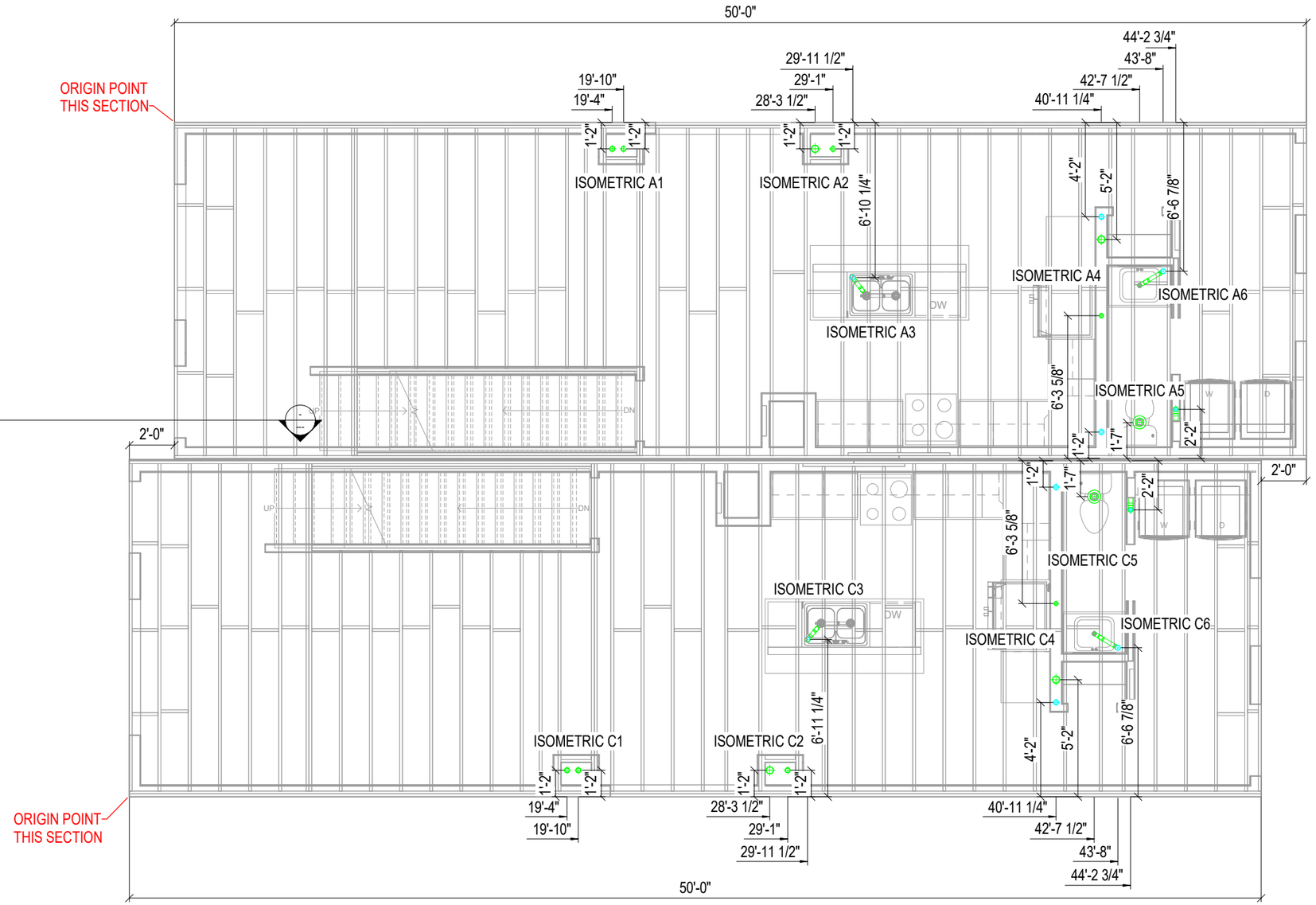
DRAWING TITLE 2ND FLR WATER PLAN & ISOMETRIC

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

DWG No. 06A

2/21/2025 11:57:45 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



1 / 07 DRAIN PLAN 1ST FLR

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

DRAIN LEGEND:

- (01) FACTORY PROVIDED CONNECTION
- (01) SITE PROVIDED CONNECTION
- FACTORY PROVIDED VENT/DRAIN LINE
- SIDE PROVIDED VENT/DRAIN LINE

DRAIN NOTES:

1. 1/4" PER FOOT SLOPE MINIMUM. ALL PIPE AND FITTINGS ARE PVC SCHEDULE 40 MATERIAL.
2. FOR COLORADO COMPLIANCE, WASHER STANDPIPE MUST TERMINATE IN WASHER PLUMBING BOX.
3. PIPE AND FITTINGS DRAWN IN DASHED LINES EXCEPT FOR OPTIONS, ARE FOR INFORMATION ONLY AND ARE THE RESPONSIBILITY OF OTHERS.
4. ALL DIMENSIONS ARE TO CENTER LINE OF FITTINGS.
5. HIGH EFFICIENCY FURNACES TO BE INSTALLED PER MANUFACTURER'S INSTALLATION REQUIREMENTS AND ATTACHED TO AN INDIRECT WASTE RECEPTOR.
6. PLAN VIEW FOR REFERENCE ONLY. USE ISOMETRIC FOR LINE CONSTRUCTION.

DRAIN PIPE SCHEDULE 1ST FLR

Diameter	LENGTH	SYSTEM TYPE	Flex/PVC	Build Location
1 1/2"	11' - 10 1/8"	S	PVC	FL;OOR A
1 1/2"	11' - 9 3/8"	S	PVC	FLOOR C
1 1/2"	5' - 6 1/2"	V	PVC	FL;OOR A
1 1/2"	5' - 6 1/2"	V	PVC	FLOOR C
2"	30' - 9 1/2"	S	PVC	FL;OOR A
2"	30' - 9 1/2"	S	PVC	FLOOR C
2"	14' - 11 3/4"	V	PVC	FL;OOR A
2"	14' - 11 3/4"	V	PVC	FLOOR C
3"	16' - 4 3/4"	S	PVC	FL;OOR A
3"	16' - 4 3/4"	S	PVC	FLOOR C

DRAIN FITTING SCHEDULE 1ST FLR

ID #	QTY	DESCRIPTION	PART	Build Location
04	1	3 FEMALE FLOOR FLANGE	419728	FL;OOR A
04	1	3 FEMALE FLOOR FLANGE	419728	FLOOR C
12	1	1 1/2 SANITARY TEE	419664	FL;OOR A
12	1	1 1/2 SANITARY TEE	419664	FLOOR C
13	1	2 SANITARY TEE	419730	FL;OOR A
13	1	2 SANITARY TEE	419730	FLOOR C
17	1	2x1 1/2x1 1/2 SANITARY TEE	419662	FL;OOR A
17	1	2x1 1/2x1 1/2 SANITARY TEE	419662	FLOOR C
18	2	1 1/2 AIR ADMITTANCE VALVE (STUDOR)	419758	FL;OOR A
18	2	1 1/2 AIR ADMITTANCE VALVE (STUDOR)	419758	FLOOR C
42	1	P TRAP PVC 1 1/2	419748	FL;OOR A
42	1	P TRAP PVC 1 1/2	419748	FLOOR C
47	2	1 1/2 COUPLING	419676	FL;OOR A
47	2	1 1/2 COUPLING	419676	FLOOR C
48	7	2 COUPLING	419624	FL;OOR A
48	7	2 COUPLING	419624	FLOOR C
49	2	3 COUPLING	419656	FL;OOR A
49	2	3 COUPLING	419656	FLOOR C
51	1	1 1/2 P-TRAP	419706	FL;OOR A
51	1	1 1/2 P-TRAP	419706	FLOOR C
54	1	2 CONTINUOUS P-TRAP	419733	FL;OOR A
54	1	2 CONTINUOUS P-TRAP	419733	FLOOR C
59	1	2x1 1/2 REDUCED BUSHING	419670	FL;OOR A
59	1	2x1 1/2 REDUCED BUSHING	419670	FLOOR C

REV.	DATE	DRN BY	DESCRIPTION
A	8/26/24	KSE	PRELIMINARY ISSUE

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF LOAD: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

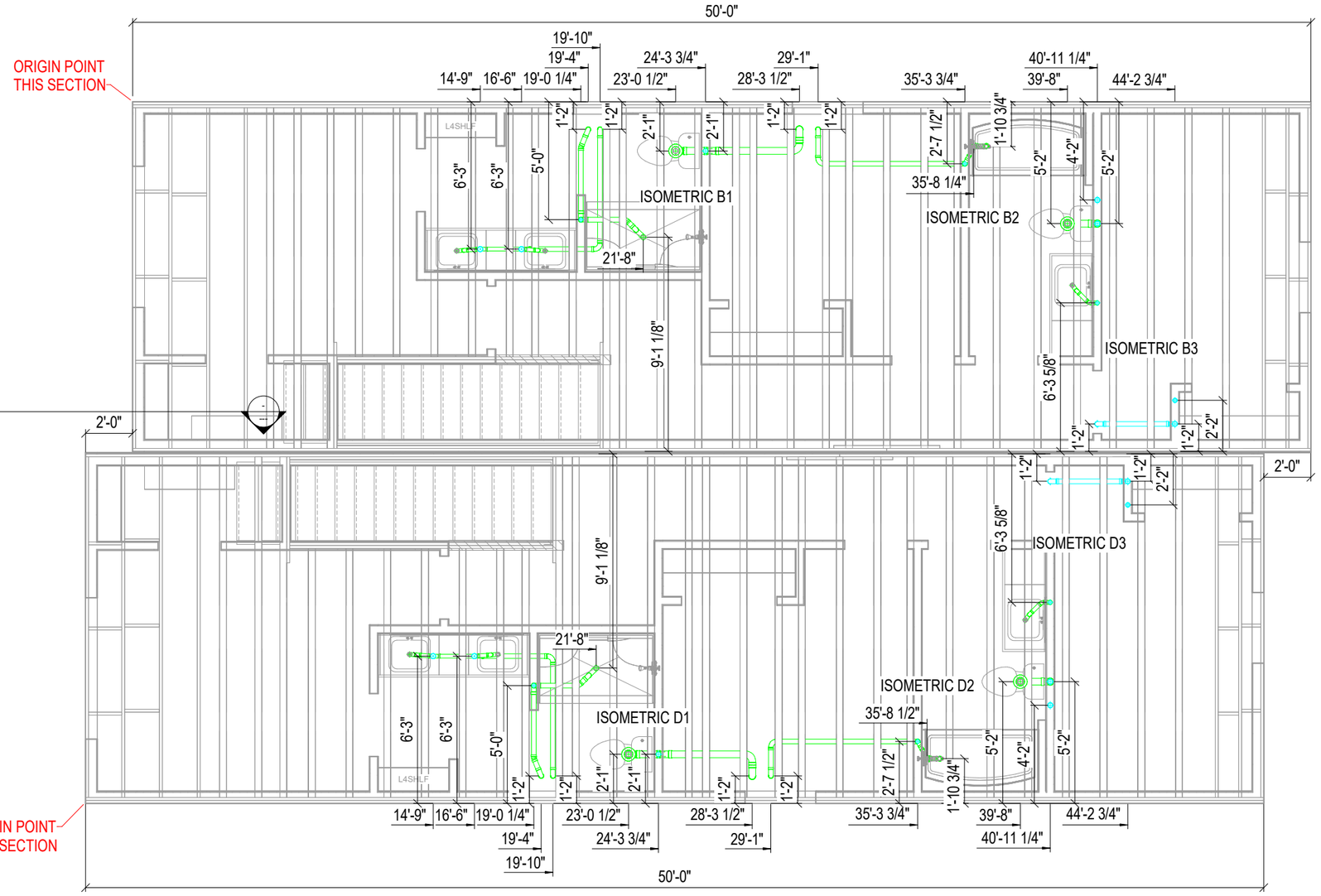
DRAWING TITLE 1ST FLR DRAIN PLAN

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

DWG No. 07

2/21/2025 11:57:47 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



1 / 07A DRAIN PLAN 2ND FLR

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

DRAIN LEGEND:

- (01) FACTORY PROVIDED CONNECTION
- (01) SITE PROVIDED CONNECTION
- FACTORY PROVIDED VENT/DRAIN LINE
- SIDE PROVIDED VENT/DRAIN LINE

DRAIN NOTES:

1. 1/4" PER FOOT SLOPE MINIMUM. ALL PIPE AND FITTINGS ARE PVC SCHEDULE 40 MATERIAL.
2. FOR COLORADO COMPLIANCE, WASHER STANDPIPE MUST TERMINATE IN WASHER PLUMBING BOX.
3. PIPE AND FITTINGS DRAWN IN DASHED LINES EXCEPT FOR OPTIONS, ARE FOR INFORMATION ONLY AND ARE THE RESPONSIBILITY OF OTHERS.
4. ALL DIMENSIONS ARE TO CENTER LINE OF FITTINGS.
5. HIGH EFFICIENCY FURNACES TO BE INSTALLED PER MANUFACTURER'S INSTALLATION REQUIREMENTS AND ATTACHED TO AN INDIRECT WASTE RECEPTOR.
6. PLAN VIEW FOR REFERENCE ONLY. USE ISOMETRIC FOR LINE CONSTRUCTION.

DRAIN PIPE SCHEDULE 2ND FLR

Diameter	LENGTH	SYSTEM TYPE	Flex/PVC	Build Location
1 1/2"	11' - 2 1/4"	S	PVC	FLOOR B
1 1/2"	11' - 2"	S	PVC	FLOOR D
1 1/2"	37' - 6 3/4"	V	PVC	FLOOR B
1 1/2"	37' - 6 3/4"	V	PVC	FLOOR D
2"	19' - 6 1/4"	S	PVC	FLOOR B
2"	19' - 7 1/4"	S	PVC	FLOOR D
2"	41' - 0 5/8"	V	PVC	FLOOR B
2"	41' - 0 1/8"	V	PVC	FLOOR D
3"	5' - 8 7/8"	S	PVC	FLOOR B
3"	5' - 8 1/2"	S	PVC	FLOOR D
3"	23' - 1 1/4"	V	PVC	FLOOR B
3"	23' - 1 1/2"	V	PVC	FLOOR D

DRAIN FITTING SCHEDULE 2ND FLR

ID #	QTY	DESCRIPTION	PART	Build Location
04	2	3 FEMALE FLOOR FLANGE	419728	FLOOR B
04	2	3 FEMALE FLOOR FLANGE	419728	FLOOR D
12	3	1 1/2 SANITARY TEE	419664	FLOOR B
12	3	1 1/2 SANITARY TEE	419664	FLOOR D
13	1	2 SANITARY TEE	419730	FLOOR B
13	1	2 SANITARY TEE	419730	FLOOR D
14	6	3 SANITARY TEE	419700	FLOOR B
14	6	3 SANITARY TEE	419700	FLOOR D
15	1	1 1-2 OVERFLOW KIT		FLOOR B
15	1	1 1-2 OVERFLOW KIT		FLOOR D
17	1	2x1 1/2x1 1/2 SANITARY TEE	419662	FLOOR B
17	1	2x1 1/2x1 1/2 SANITARY TEE	419662	FLOOR D
18	2	1 1/2 AIR ADMITTANCE VALVE (STUDOR)	419758	FLOOR B
18	2	1 1/2 AIR ADMITTANCE VALVE (STUDOR)	419758	FLOOR D
23	1	2X11/2X11/2 LTTY	419688	FLOOR B
23	1	2X11/2X11/2 LTTY	419688	FLOOR D
26	1	3x3x2 LTTY	419704	FLOOR B
26	1	3x3x2 LTTY	419704	FLOOR D
29	1	2x22 1/2 LT EL	419626	FLOOR B
29	1	2x22 1/2 LT EL	419626	FLOOR D
30	2	3x22 1/2 LT EL	419650	FLOOR B
30	2	3x22 1/2 LT EL	419650	FLOOR D
31	1	1 1/2x45 LT EL	419678	FLOOR B
31	1	1 1/2x45 LT EL	419678	FLOOR D
32	1	2x45 LT EL	419630	FLOOR B
32	1	2x45 LT EL	419630	FLOOR D
34	1	1 1/2x90 EX LT EL	419680	FLOOR B
34	1	1 1/2x90 EX LT EL	419680	FLOOR D
35	7	2x90 EX LT EL	419633	FLOOR B
35	7	2x90 EX LT EL	419633	FLOOR D
36	12	3x90 EX LT EL	419658	FLOOR B
36	12	3x90 EX LT EL	419658	FLOOR D
44	2	2x90 EX. LT. STREET EL.	419682	FLOOR B
44	2	2x90 EX. LT. STREET EL.	419682	FLOOR D
47	10	1 1/2 COUPLING	419676	FLOOR B
47	10	1 1/2 COUPLING	419676	FLOOR D
48	8	2 COUPLING	419624	FLOOR B
48	8	2 COUPLING	419624	FLOOR D
49	1	3 COUPLING	419656	FLOOR B
49	1	3 COUPLING	419656	FLOOR D
51	3	1 1/2 P-TRAP	419706	FLOOR B
51	3	1 1/2 P-TRAP	419706	FLOOR D
53	1	3x90 EX. LT. STREET EL.	419702	FLOOR B
53	1	3x90 EX. LT. STREET EL.	419702	FLOOR D
54	1	2 CONTINUOUS P-TRAP	419733	FLOOR B
54	1	2 CONTINUOUS P-TRAP	419733	FLOOR D
55	1	1 1/2 CONTINUOUS P-TRAP	419749	FLOOR B
55	1	1 1/2 CONTINUOUS P-TRAP	419749	FLOOR D
59	1	2x1 1/2 REDUCED BUSHING	419670	FLOOR B
59	1	2x1 1/2 REDUCED BUSHING	419670	FLOOR D
60	4	3x1 1/2 REDUCED BUSHING	419668	FLOOR B
60	4	3x1 1/2 REDUCED BUSHING	419668	FLOOR D
61	5	3x2 REDUCED BUSHING	419634	FLOOR B
61	5	3x2 REDUCED BUSHING	419634	FLOOR D

REV.	DATE	DRN BY	DESCRIPTION

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF: 40 PSF
ZONE: 115 VULT MPH
WIND ZONE:

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

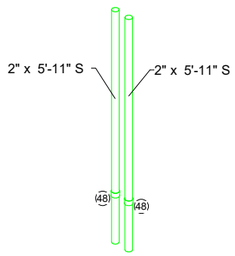
DRAWING TITLE 2ND FLR DRAIN PLAN

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

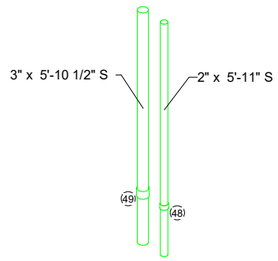
DRN. BY: KSE
DATE: 8/26/24

DWG No. 07A

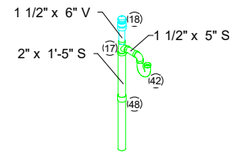
2/21/2025 11:57:50 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



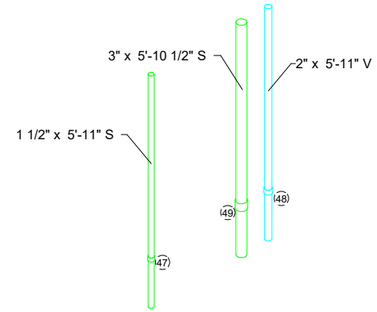
1 / 07B DRAIN ISOMETRIC A1
SCALE (22x34):
SCALE (11x17): 1/4" = 1'-0"



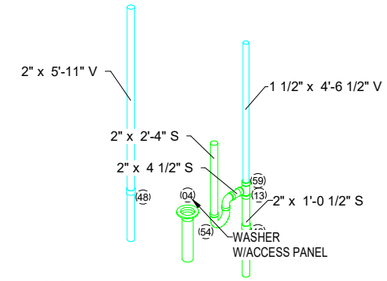
2 / 07B DRAIN ISOMETRIC A2
SCALE (22x34):
SCALE (11x17): 1/4" = 1'-0"



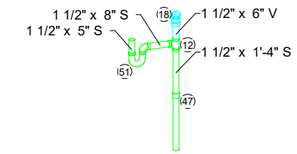
3 / 07B DRAIN ISOMETRIC A3
SCALE (22x34):
SCALE (11x17): 1/4" = 1'-0"



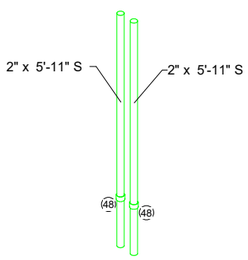
4 / 07B DRAIN ISOMETRIC A4
SCALE (22x34):
SCALE (11x17): 1/4" = 1'-0"



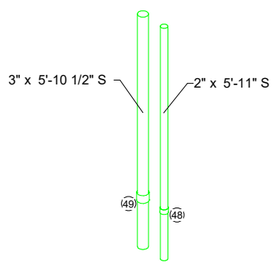
5 / 07B DRAIN ISOMETRIC A5
SCALE (22x34):
SCALE (11x17): 1/4" = 1'-0"



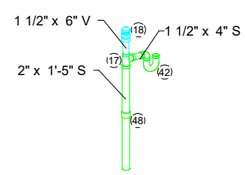
6 / 07B DRAIN ISOMETRIC A6
SCALE (22x34):
SCALE (11x17): 1/4" = 1'-0"



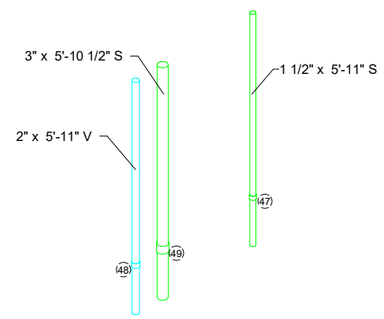
7 / 07B DRAIN ISOMETRIC C1
SCALE (22x34):
SCALE (11x17): 1/4" = 1'-0"



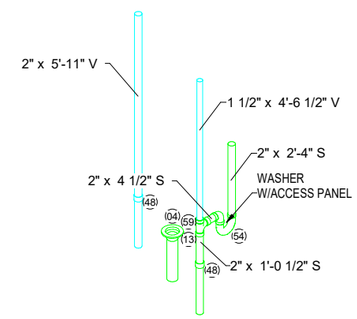
8 / 07B DRAIN ISOMETRIC C2
SCALE (22x34):
SCALE (11x17): 1/4" = 1'-0"



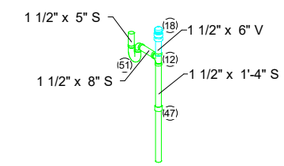
9 / 07B DRAIN ISOMETRIC C3
SCALE (22x34):
SCALE (11x17): 1/4" = 1'-0"



10 / 07B DRAIN ISOMETRIC C4
SCALE (22x34):
SCALE (11x17): 1/4" = 1'-0"



11 / 07B DRAIN ISOMETRIC C5
SCALE (22x34):
SCALE (11x17): 1/4" = 1'-0"



12 / 07B DRAIN ISOMETRIC C6
SCALE (22x34):
SCALE (11x17): 1/4" = 1'-0"

DRAIN LEGEND:

- (01) FACTORY PROVIDED CONNECTION
- (01) SITE PROVIDED CONNECTION
- FACTORY PROVIDED VENT/DRAIN LINE
- SIDE PROVIDED VENT/DRAIN LINE

DRAIN NOTES:

1. 1/4" PER FOOT SLOPE MINIMUM. ALL PIPE AND FITTINGS ARE PVC SCHEDULE 40 MATERIAL.
2. FOR COLORADO COMPLIANCE, WASHER STANDPIPE MUST TERMINATE IN WASHER PLUMBING BOX.
3. PIPE AND FITTINGS DRAWN IN DASHED LINES EXCEPT FOR OPTIONS, ARE FOR INFORMATION ONLY AND ARE THE RESPONSIBILITY OF OTHERS.
4. ALL DIMENSIONS ARE TO CENTER LINE OF FITTINGS.
5. HIGH EFFICIENCY FURNACES TO BE INSTALLED PER MANUFACTURER'S INSTALLATION REQUIREMENTS AND ATTACHED TO AN INDIRECT WASTE RECEPTOR.
6. PLAN VIEW FOR REFERENCE ONLY. USE ISOMETRIC FOR LINE CONSTRUCTION.

DRAIN PIPE SCHEDULE 1ST FLR

Diameter	LENGTH	SYSTEM TYPE	Flex/PVC	Build Location
1 1/2"	11' - 10 1/8"	S	PVC	FL;OOR A
1 1/2"	11' - 9 3/8"	S	PVC	FLOOR C
1 1/2"	5' - 6 1/2"	V	PVC	FL;OOR A
1 1/2"	5' - 6 1/2"	V	PVC	FLOOR C
2"	30' - 9 1/2"	S	PVC	FL;OOR A
2"	30' - 9 1/2"	S	PVC	FLOOR C
2"	14' - 11 3/4"	V	PVC	FL;OOR A
2"	14' - 11 3/4"	V	PVC	FLOOR C
3"	16' - 4 3/4"	S	PVC	FL;OOR A
3"	16' - 4 3/4"	S	PVC	FLOOR C

DRAIN FITTING SCHEDULE 1ST FLR

ID #	QTY	DESCRIPTION	PART	Build Location
04	1	3 FEMALE FLOOR FLANGE	419728	FL;OOR A
04	1	3 FEMALE FLOOR FLANGE	419728	FLOOR C
12	1	1 1/2 SANITARY TEE	419664	FL;OOR A
12	1	1 1/2 SANITARY TEE	419664	FLOOR C
13	1	2 SANITARY TEE	419730	FL;OOR A
13	1	2 SANITARY TEE	419730	FLOOR C
17	1	2x1 1/2x1 1/2 SANITARY TEE	419662	FL;OOR A
17	1	2x1 1/2x1 1/2 SANITARY TEE	419662	FLOOR C
18	2	1 1/2 AIR ADMITTANCE VALVE (STUDOR)	419758	FL;OOR A
18	2	1 1/2 AIR ADMITTANCE VALVE (STUDOR)	419758	FLOOR C
42	1	P TRAP PVC 1 1/2	419748	FL;OOR A
42	1	P TRAP PVC 1 1/2	419748	FLOOR C

DRAIN FITTING SCHEDULE 1ST FLR

ID #	QTY	DESCRIPTION	PART	Build Location
47	2	1 1/2 COUPLING	419676	FL;OOR A
47	2	1 1/2 COUPLING	419676	FLOOR C
48	7	2 COUPLING	419624	FL;OOR A
48	7	2 COUPLING	419624	FLOOR C
49	2	3 COUPLING	419656	FL;OOR A
49	2	3 COUPLING	419656	FLOOR C
51	1	1 1/2 P-TRAP	419706	FL;OOR A
51	1	1 1/2 P-TRAP	419706	FLOOR C
54	1	2 CONTINUOUS P-TRAP	419733	FL;OOR A
54	1	2 CONTINUOUS P-TRAP	419733	FLOOR C
59	1	2x1 1/2 REDUCED BUSHING	419670	FL;OOR A
59	1	2x1 1/2 REDUCED BUSHING	419670	FLOOR C

REV.	DATE	DRN BY	DESCRIPTION

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF LOAD: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

DRAWING TITLE 1ST FLR DRAIN ISOMETRIC

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

DWG No. 07B

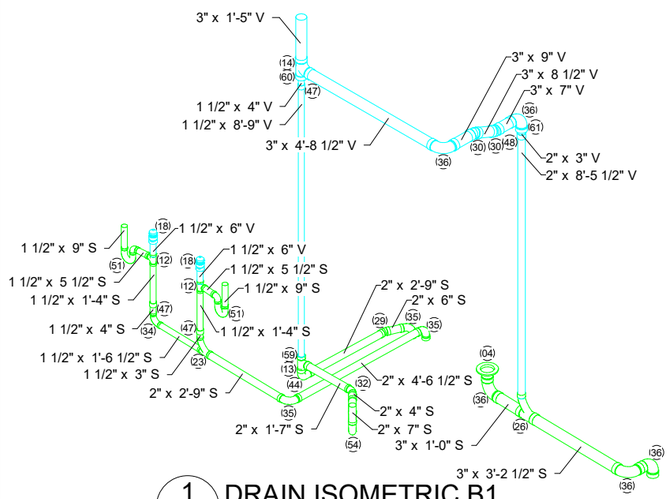
2/21/2025 11:57:52 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt

DRAIN LEGEND:

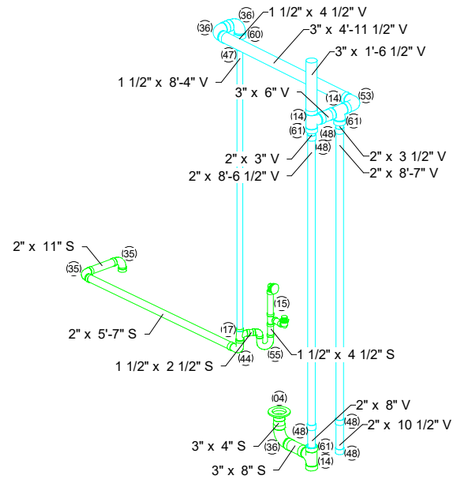
- (01) FACTORY PROVIDED CONNECTION
- (01) SITE PROVIDED CONNECTION
- FACTORY PROVIDED VENT/DRAIN LINE
- SIDE PROVIDED VENT/DRAIN LINE

DRAIN NOTES:

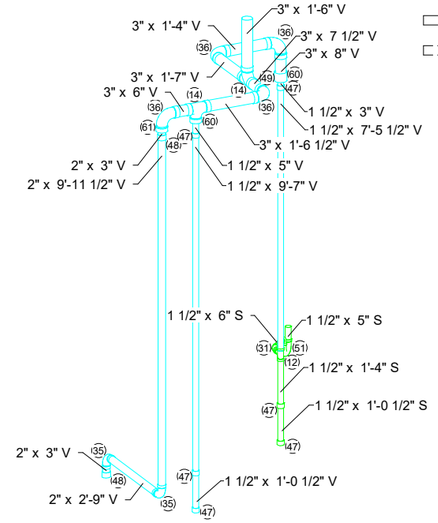
1. 1/4" PER FOOT SLOPE MINIMUM. ALL PIPE AND FITTINGS ARE PVC SCHEDULE 40 MATERIAL.
2. FOR COLORADO COMPLIANCE, WASHER STANDPIPE MUST TERMINATE IN WASHER PLUMBING BOX.
3. PIPE AND FITTINGS DRAWN IN DASHED LINES EXCEPT FOR OPTIONS, ARE FOR INFORMATION ONLY AND ARE THE RESPONSIBILITY OF OTHERS.
4. ALL DIMENSIONS ARE TO CENTER LINE OF FITTINGS.
5. HIGH EFFICIENCY FURNACES TO BE INSTALLED PER MANUFACTURER'S INSTALLATION REQUIREMENTS AND ATTACHED TO AN INDIRECT WASTE RECEPTOR.
6. PLAN VIEW FOR REFERENCE ONLY. USE ISOMETRIC FOR LINE CONSTRUCTION.



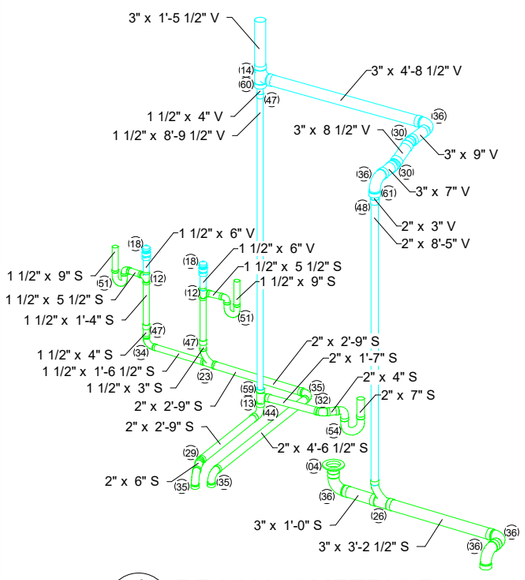
1 / 07C DRAIN ISOMETRIC B1
SCALE (22x34):
SCALE (11x17): 1/4" = 1'-0"



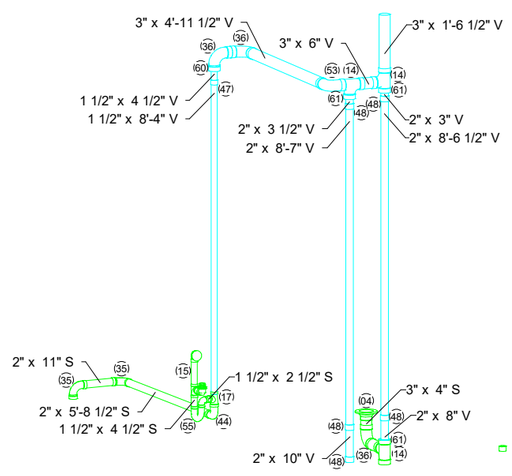
2 / 07C DRAIN ISOMETRIC B2
SCALE (22x34):
SCALE (11x17): 1/4" = 1'-0"



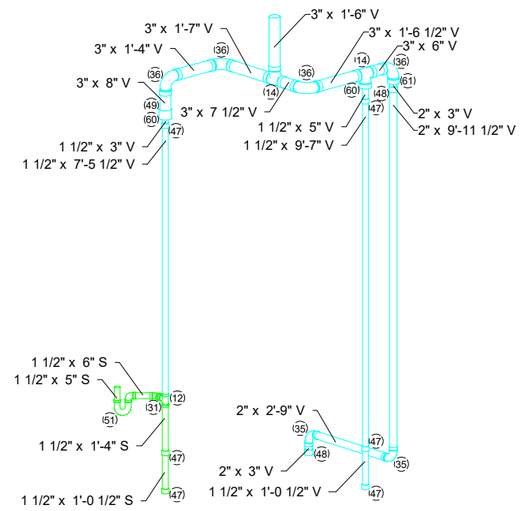
3 / 07C DRAIN ISOMETRIC B3
SCALE (22x34):
SCALE (11x17): 1/4" = 1'-0"



4 / 07C DRAIN ISOMETRIC D1
SCALE (22x34):
SCALE (11x17): 1/4" = 1'-0"



5 / 07C DRAIN ISOMETRIC D2
SCALE (22x34):
SCALE (11x17): 1/4" = 1'-0"



6 / 07C DRAIN ISOMETRIC D3
SCALE (22x34):
SCALE (11x17): 1/4" = 1'-0"

DRAIN PIPE SCHEDULE 2ND FLR

Diameter	LENGTH	SYSTEM TYPE	Flex/PVC	Build Location
1 1/2"	11' - 2 1/4"	S	PVC	FLOOR B
1 1/2"	11' - 2"	S	PVC	FLOOR D
1 1/2"	37' - 6 3/4"	V	PVC	FLOOR B
1 1/2"	37' - 6 3/4"	V	PVC	FLOOR D
2"	19' - 6 1/4"	S	PVC	FLOOR B
2"	19' - 7 1/4"	S	PVC	FLOOR D
2"	41' - 0 5/8"	V	PVC	FLOOR B
2"	41' - 0 1/8"	V	PVC	FLOOR D
3"	5' - 8 7/8"	S	PVC	FLOOR B
3"	5' - 8 1/2"	S	PVC	FLOOR D
3"	23' - 1 1/4"	V	PVC	FLOOR B
3"	23' - 1 1/2"	V	PVC	FLOOR D

DRAIN FITTING SCHEDULE 2ND FLR

ID #	QTY	DESCRIPTION	PART	Build Location
04	2	3 FEMALE FLOOR FLANGE	419728	FLOOR B
04	2	3 FEMALE FLOOR FLANGE	419728	FLOOR D
12	3	1 1/2 SANITARY TEE	419664	FLOOR B
12	3	1 1/2 SANITARY TEE	419664	FLOOR D
13	1	2 SANITARY TEE	419730	FLOOR B
13	1	2 SANITARY TEE	419730	FLOOR D
14	6	3 SANITARY TEE	419700	FLOOR B
14	6	3 SANITARY TEE	419700	FLOOR D
15	1	1 1-2 OVERFLOW KIT		FLOOR B
15	1	1 1-2 OVERFLOW KIT		FLOOR D
17	1	2x1 1/2x1 1/2 SANITARY TEE	419662	FLOOR B
17	1	2x1 1/2x1 1/2 SANITARY TEE	419662	FLOOR D
18	2	1 1/2 AIR ADMITTANCE VALVE (STUDOR)	419758	FLOOR B
18	2	1 1/2 AIR ADMITTANCE VALVE (STUDOR)	419758	FLOOR D
23	1	2X11/2X11/2 LTTY	419688	FLOOR B
23	1	2X11/2X11/2 LTTY	419688	FLOOR D
26	1	3x3x2 LTTY	419704	FLOOR B
26	1	3x3x2 LTTY	419704	FLOOR D
29	1	2x22 1/2 LT EL	419626	FLOOR B
29	1	2x22 1/2 LT EL	419626	FLOOR D
30	2	3x22 1/2 LT EL	419650	FLOOR B
30	2	3x22 1/2 LT EL	419650	FLOOR D
31	1	1 1/2x45 LT EL	419678	FLOOR B
31	1	1 1/2x45 LT EL	419678	FLOOR D
32	1	2x45 LT EL	419630	FLOOR B
32	1	2x45 LT EL	419630	FLOOR D
34	1	1 1/2x90 EX LT EL	419680	FLOOR B
34	1	1 1/2x90 EX LT EL	419680	FLOOR D
35	7	2x90 EX LT EL	419633	FLOOR B
35	7	2x90 EX LT EL	419633	FLOOR D
36	12	3x90 EX LT EL	419658	FLOOR B
36	12	3x90 EX LT EL	419658	FLOOR D
44	2	2x90 EX. LT. STREET EL.	419682	FLOOR B
44	2	2x90 EX. LT. STREET EL.	419682	FLOOR D
47	10	1 1/2 COUPLING	419676	FLOOR B
47	10	1 1/2 COUPLING	419676	FLOOR D
48	8	2 COUPLING	419624	FLOOR B
48	8	2 COUPLING	419624	FLOOR D
49	1	3 COUPLING	419656	FLOOR B
49	1	3 COUPLING	419656	FLOOR D
51	3	1 1/2 P-TRAP	419706	FLOOR B
51	3	1 1/2 P-TRAP	419706	FLOOR D
53	1	3x90 EX. LT. STREET EL.	419702	FLOOR B
53	1	3x90 EX. LT. STREET EL.	419702	FLOOR D
54	1	2 CONTINUOUS P-TRAP	419733	FLOOR B
54	1	2 CONTINUOUS P-TRAP	419733	FLOOR D
55	1	1 1/2 CONTINUOUS P-TRAP	419749	FLOOR B
55	1	1 1/2 CONTINUOUS P-TRAP	419749	FLOOR D
59	1	2x1 1/2 REDUCED BUSHING	419670	FLOOR B
59	1	2x1 1/2 REDUCED BUSHING	419670	FLOOR D
60	4	3x1 1/2 REDUCED BUSHING	419668	FLOOR B
60	4	3x1 1/2 REDUCED BUSHING	419668	FLOOR D
61	5	3x2 REDUCED BUSHING	419634	FLOOR B
61	5	3x2 REDUCED BUSHING	419634	FLOOR D

REV.	DATE	DRN BY	DESCRIPTION

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF LOAD: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

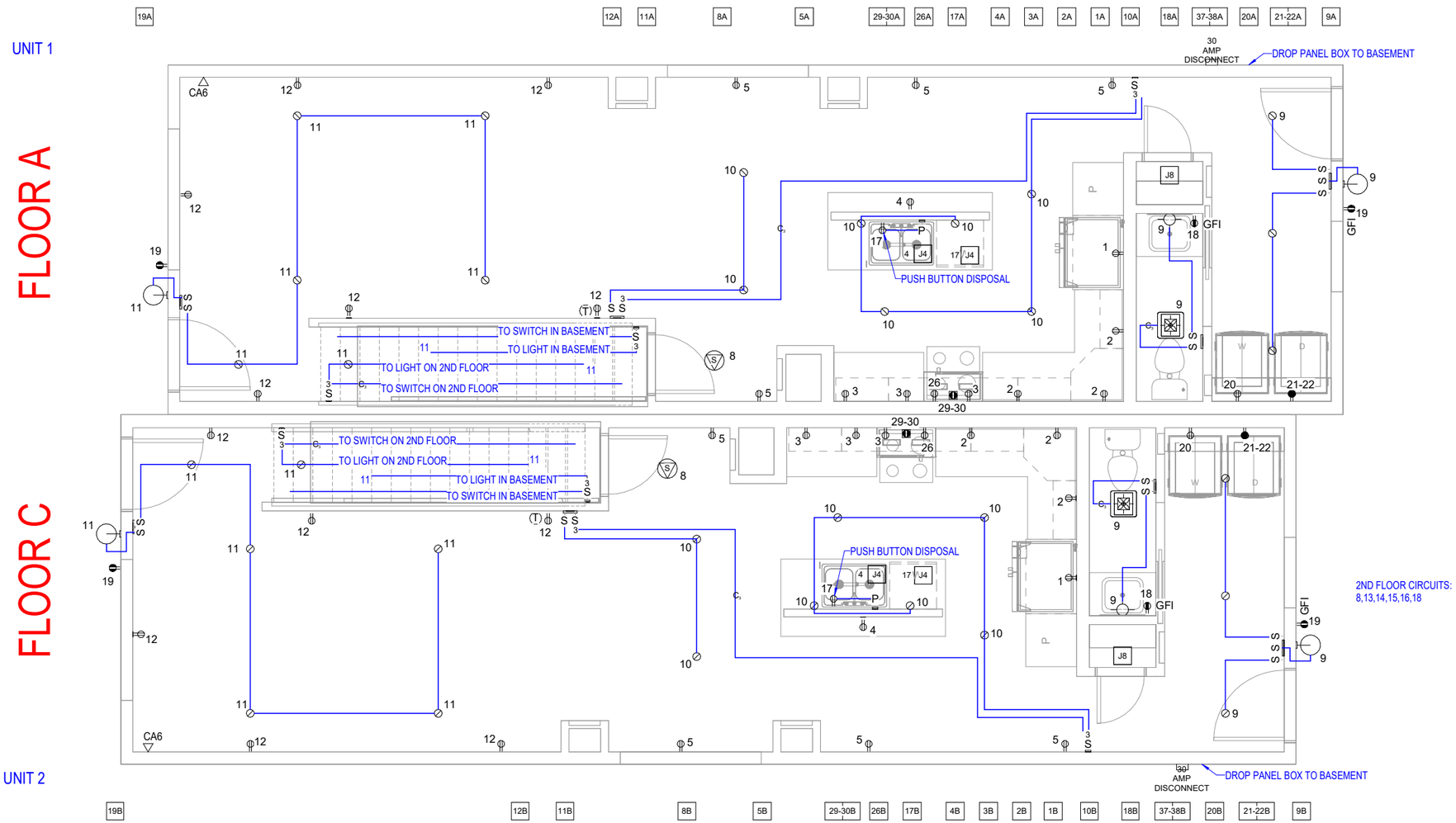
DRAWING TITLE 2ND FLR DRAIN ISOMETRIC

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

DWG No. 07C

2/21/2025 11:57:56 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



1/08 ELECTRICAL PLAN 1ST FLR

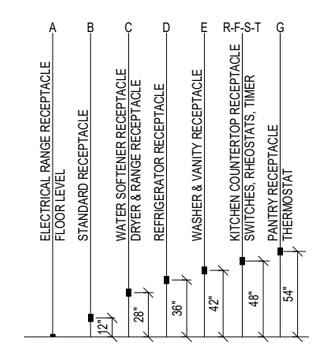
SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

ELECTRICAL NOTES

1. ALL 125-VOLT, 15 & 20 AMP RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
2. OUTDOOR RECEPTACLES EQUIPPED WITH IN USE WEATHER PROOF COVERS & "EXTRA DUTY" TYPE.
3. ALL RECEPTACLE AND SWITCH LOCATIONS ARE TYPICAL HEIGHT U.N.O.
4. NO AMP CONNECTORS - ALL CONNECTIONS MUST BE MADE IN BOX. (NORTH DAKOTA ONLY)
5. LIGHTS WITH DIMENSIONS WILL BE LOCATED IN DROPPED CEILINGS.
6. EXTERIOR LIGHTS ARE TO BE LISTED FOR WET LOCATIONS.

ELECTRICAL LEGEND

- INTERIOR DUPLEX RECEPT
- INTERIOR SINGLE RECEPT
- INTERIOR GROUND FAULT DUPLEX RECEPT
- EXTERIOR GROUND FAULT DUPLEX RECEPT
- EXTERIOR DUPLEX RECEPT
- FLOOR DUPLEX RECEPT
- SOFFIT GROUND FAULT DUPLEX RECEPT
- ELECTRIC RANGE RECEPT
- DRYER RECEPT
- 220 OUTLET
- THERMOSTAT
- SMOKE DETECTOR
- SMOKE-CO DETECTOR
- S SWITCH
- S3 3-WAY SWITCH
- R RHEOSTAT
- R3 3-WAY RHEOSTAT
- T TIMER SWITCH
- PANEL BOX
- JACK SYMBOL FOR TV, PH, CA5, WPH
- TV CABLE JACK
- PH PHONE JACK
- CA5 DATA JACK
- WPH WALL PHONE JACK



CIRCUIT CODE - Q00 - UNIT 1

CIRCUIT	DESCRIPTION	AMPS	WIRE
1A	RECEP-KITCHEN(REFRIGERATOR)-ARC-FAULT/GROUND FAULT	20	12-2 W/G
2A	RECEPS-KITCHEN-ARC-FAULT/GROUND FAULT	20	12-2 W/G
3A	RECEPS-KITCHEN-ARC-FAULT/GROUND FAULT	20	12-2 W/G
4A	RECEPS-KITCHEN-ARC-FAULT/GROUND FAULT	20	12-2 W/G
5A	RECEPS-MORNING ROOM,KITCHEN-ARC-FAULT/GROUND FAULT	20	12-2 W/G
8A	SMOKE ALARMS-ARC FAULT	15	14-2 W/G
9A	LIGHTS-EXTERIOR, UTILITY, HALF BATH-ARC FAULT	15	14-2 W/G
10A	LIGHTS-KITCHEN, MORNING ROOM-ARC FAULT	15	14-2 W/G
11A	RECEP-LIVING ROOM-LIGHTS-STAIRS-ARC FAULT	15	14-2 W/G
12A	LIGHTS & RECEPS-LIVING ROOM-LIGHT-EXTERIOR-ARC FAULT	15	14-2 W/G
13A	LIGHTS & RECEPS-3RD BEDROOM-LIGHTS-MAIN BATH-ARC FAULT	15	14-2 W/G
14A	LIGHTS & RECEPS-2ND BEDROOM-RECEP-HALL 1-ARC FAULT	15	14-2 W/G
15A	LIGHTS-MASTER BATH, HALL 1-ARC FAULT	15	14-2 W/G
16A	LIGHTS & RECEPS-MASTER BEDROOM-RECEP-HALL 1-ARC FAULT	15	14-2 W/G
17A	DISHWASHER & DISPOSAL(LOCK-OUT TYPE BREAKER)-ARC-FAULT/GROUND FAULT	20	12-2 W/G
18A	RECEPS-BATHS	20	12-2 W/G
19A	RECEPS-EXTERIOR	20	12-2 W/G
20A	WASHER -ARC-FAULT/GROUND FAULT	20	12-2 W/G
21-22A	DRYER (GROUND FAULT BREAKER)	30	10-3 W/G
26A	MICROWAVE-ARC-FAULT/GROUND FAULT	20	12-2 W/G
29-30A	RANGE-GROUND FAULT BREAKER	50	6-3 W/G
37-38A	A/C DISCONNECT	30	10-3 W/G

CIRCUIT CODE - Q00 - UNIT 2

CIRCUIT	DESCRIPTION	AMPS	WIRE
1B	RECEP-KITCHEN(REFRIGERATOR)-ARC-FAULT/GROUND FAULT	20	12-2 W/G
2B	RECEPS-KITCHEN-ARC-FAULT/GROUND FAULT	20	12-2 W/G
3B	RECEPS-KITCHEN-ARC-FAULT/GROUND FAULT	20	12-2 W/G
4B	RECEPS-KITCHEN-ARC-FAULT/GROUND FAULT	20	12-2 W/G
5B	RECEPS-MORNING ROOM,KITCHEN-ARC-FAULT/GROUND FAULT	20	12-2 W/G
8B	SMOKE ALARMS-ARC FAULT	15	14-2 W/G
9B	LIGHTS-EXTERIOR, UTILITY, HALF BATH-ARC FAULT	15	14-2 W/G
10B	LIGHTS-KITCHEN, MORNING ROOM-ARC FAULT	15	14-2 W/G
11B	RECEP-LIVING ROOM-LIGHTS-STAIRS-ARC FAULT	15	14-2 W/G
12B	LIGHTS & RECEPS-LIVING ROOM-LIGHT-EXTERIOR-ARC FAULT	15	14-2 W/G
13B	LIGHTS & RECEPS-3RD BEDROOM-LIGHTS-MAIN BATH-ARC FAULT	15	14-2 W/G
14B	LIGHTS & RECEPS-2ND BEDROOM-RECEP-HALL 1-ARC FAULT	15	14-2 W/G
15B	LIGHTS-MASTER BATH, HALL 1-ARC FAULT	15	14-2 W/G
16B	LIGHTS & RECEPS-MASTER BEDROOM-RECEP-HALL 1-ARC FAULT	15	14-2 W/G
17B	DISHWASHER & DISPOSAL(LOCK-OUT TYPE BREAKER)-ARC-FAULT/GROUND FAULT	20	12-2 W/G
18B	RECEPS-BATHS	20	12-2 W/G
19B	RECEPS-EXTERIOR	20	12-2 W/G
20B	WASHER-ARC-FAULT/GROUND FAULT	20	12-2 W/G
21-22B	DRYER (GROUND FAULT BREAKER)	30	10-3 W/G
26B	MICROWAVE-ARC-FAULT/GROUND FAULT	20	12-2 W/G
29-30B	RANGE- GROUND FAULT BREAKER	50	6-3 W/G
37-38B	A/C DISCONNECT	30	10-3 W/G

REV.	DATE	DRN BY	DESCRIPTION
A	8/26/24	KSE	PRELIMINARY ISSUE

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF LOAD: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

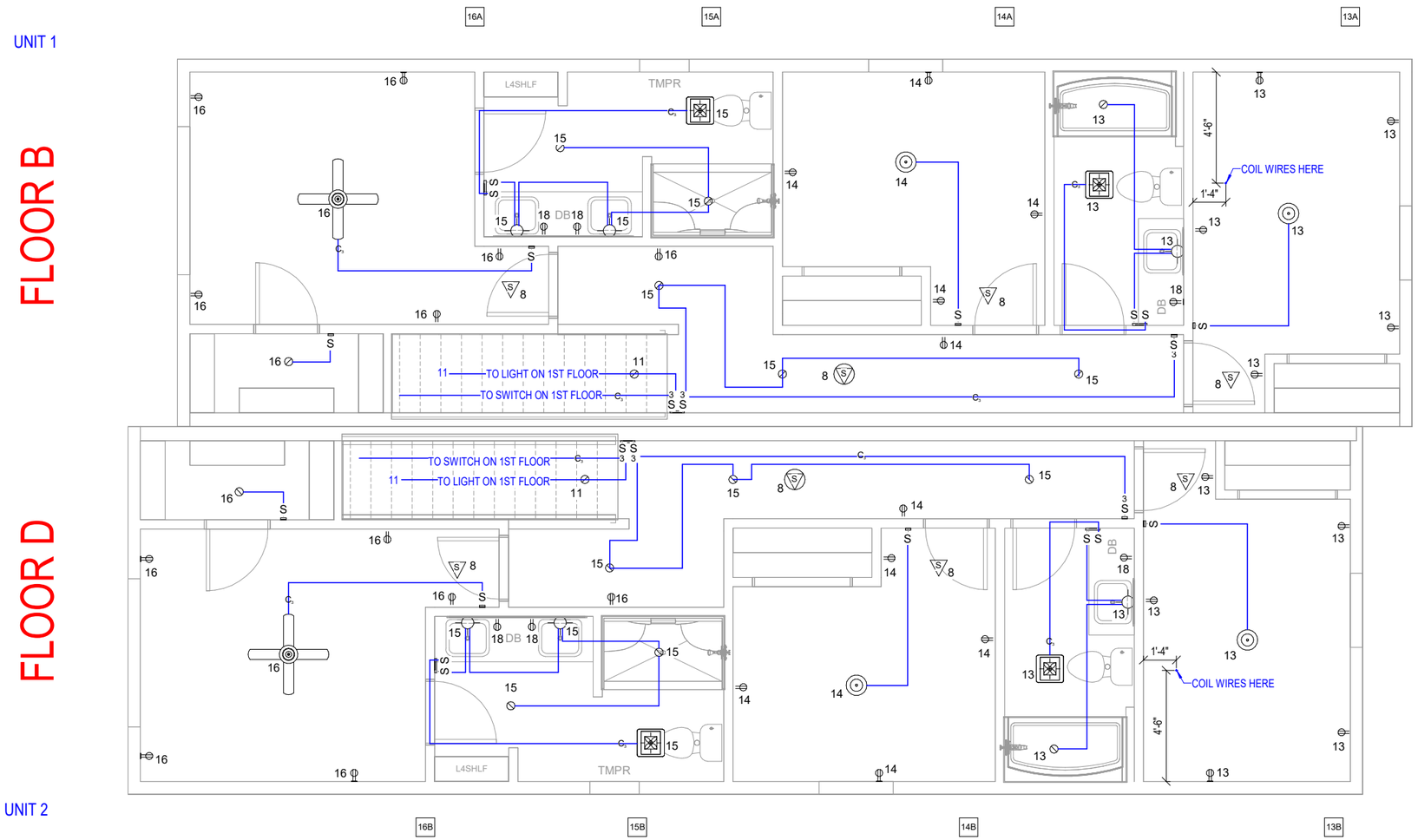
SITE ADDRESS HASTINGS, NE

DRAWING TITLE 1ST FLR ELECTRICAL PLAN

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24
DWG No. 08

2/21/2025 11:57:58 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



1 / 08A ELECTRICAL PLAN 2ND FLR

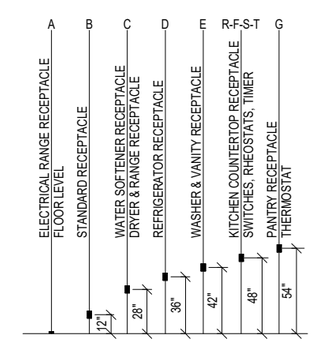
SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

ELECTRICAL NOTES

1. ALL 125-VOLT, 15 & 20 AMP RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
2. OUTDOOR RECEPTACLES EQUIPPED WITH IN USE WEATHER PROOF COVERS & "EXTRA DUTY" TYPE.
3. ALL RECEPTACLE AND SWITCH LOCATIONS ARE TYPICAL HEIGHT U.N.O.
4. NO AMP CONNECTORS - ALL CONNECTIONS MUST BE MADE IN BOX. (NORTH DAKOTA ONLY)
5. LIGHTS WITH DIMENSIONS WILL BE LOCATED IN DROPPED CEILINGS.
6. EXTERIOR LIGHTS ARE TO BE LISTED FOR WET LOCATIONS.

ELECTRICAL LEGEND

- INTERIOR DUPLEX RECEPT
- INTERIOR SINGLE RECEPT
- GFI INTERIOR GROUND FAULT DUPLEX RECEPT
- GFI EXTERIOR GROUND FAULT DUPLEX RECEPT
- EXTERIOR DUPLEX RECEPT
- FLOOR DUPLEX RECEPT
- GFI SOFFIT GROUND FAULT DUPLEX RECEPT
- ELECTRIC RANGE RECEPT
- DRYER RECEPT
- 220 OUTLET
- T THERMOSTAT
- S SMOKE DETECTOR
- S SMOKE-CO DETECTOR
- S SWITCH
- S3 3-WAY SWITCH
- R RHEOSTAT
- R3 3-WAY RHEOSTAT
- T TIMER SWITCH
- PANEL BOX
- ▽ JACK SYMBOL FOR TV, PH, CA5, WPH
- TV CABLE JACK
- PH PHONE JACK
- CA5 DATA JACK
- WPH WALL PHONE JACK



CIRCUIT CODE - Q00 - UNIT 1			
CIRCUIT	DESCRIPTION	AMPS	WIRE
1A	RECEP-KITCHEN(REFRIGERATOR)-ARC-FAULT/GROUND FAULT	20	12-2 W/G
2A	RECEPS-KITCHEN-ARC-FAULT/GROUND FAULT	20	12-2 W/G
3A	RECEPS-KITCHEN-ARC-FAULT/GROUND FAULT	20	12-2 W/G
4A	RECEPS-KITCHEN-ARC-FAULT/GROUND FAULT	20	12-2 W/G
5A	RECEPS-MORNING ROOM,KITCHEN-ARC-FAULT/GROUND FAULT	20	12-2 W/G
8A	SMOKE ALARMS-ARC FAULT	15	14-2 W/G
9A	LIGHTS-EXTERIOR, UTILITY, HALF BATH-ARC FAULT	15	14-2 W/G
10A	LIGHTS-KITCHEN, MORNING ROOM-ARC FAULT	15	14-2 W/G
11A	RECEP-LIVING ROOM-LIGHTS-STAIRS-ARC FAULT	15	14-2 W/G
12A	LIGHTS & RECEPS-LIVING ROOM-LIGHT-EXTERIOR-ARC FAULT	15	14-2 W/G
13A	LIGHTS & RECEPS-3RD BEDROOM-LIGHTS-MAIN BATH-ARC FAULT	15	14-2 W/G
14A	LIGHTS & RECEPS-2ND BEDROOM-RECEP-HALL 1-ARC FAULT	15	14-2 W/G
15A	LIGHTS-MASTER BATH, HALL 1-ARC FAULT	15	14-2 W/G
16A	LIGHTS & RECEPS-MASTER BEDROOM-RECEP-HALL 1-ARC FAULT	15	14-2 W/G
17A	DISHWASHER & DISPOSAL(LOCK-OUT TYPE BREAKER)-ARC-FAULT/GROUND FAULT	20	12-2 W/G
18A	RECEPS-BATHS	20	12-2 W/G
19A	RECEPS-EXTERIOR	20	12-2 W/G
20A	WASHER -ARC-FAULT/GROUND FAULT	20	12-2 W/G
21-22A	DRYER (GROUND FAULT BREAKER)	30	10-3 W/G
26A	MICROWAVE-ARC-FAULT/GROUND FAULT	20	12-2 W/G
29-30A	RANGE-GROUND FAULT BREAKER	50	6-3 W/G
37-38A	A/C DISCONNECT	30	10-3 W/G

CIRCUIT CODE - Q00 - UNIT 2			
CIRCUIT	DESCRIPTION	AMPS	WIRE
1B	RECEP-KITCHEN(REFRIGERATOR)-ARC-FAULT/GROUND FAULT	20	12-2 W/G
2B	RECEPS-KITCHEN-ARC-FAULT/GROUND FAULT	20	12-2 W/G
3B	RECEPS-KITCHEN-ARC-FAULT/GROUND FAULT	20	12-2 W/G
4B	RECEPS-KITCHEN-ARC-FAULT/GROUND FAULT	20	12-2 W/G
5B	RECEPS-MORNING ROOM,KITCHEN-ARC-FAULT/GROUND FAULT	20	12-2 W/G
8B	SMOKE ALARMS-ARC FAULT	15	14-2 W/G
9B	LIGHTS-EXTERIOR, UTILITY, HALF BATH-ARC FAULT	15	14-2 W/G
10B	LIGHTS-KITCHEN, MORNING ROOM-ARC FAULT	15	14-2 W/G
11B	RECEP-LIVING ROOM-LIGHTS-STAIRS-ARC FAULT	15	14-2 W/G
12B	LIGHTS & RECEPS-LIVING ROOM-LIGHT-EXTERIOR-ARC FAULT	15	14-2 W/G
13B	LIGHTS & RECEPS-3RD BEDROOM-LIGHTS-MAIN BATH-ARC FAULT	15	14-2 W/G
14B	LIGHTS & RECEPS-2ND BEDROOM-RECEP-HALL 1-ARC FAULT	15	14-2 W/G
15B	LIGHTS-MASTER BATH, HALL 1-ARC FAULT	15	14-2 W/G
16B	LIGHTS & RECEPS-MASTER BEDROOM-RECEP-HALL 1-ARC FAULT	15	14-2 W/G
17B	DISHWASHER & DISPOSAL(LOCK-OUT TYPE BREAKER)-ARC-FAULT/GROUND FAULT	20	12-2 W/G
18B	RECEPS-BATHS	20	12-2 W/G
19B	RECEPS-EXTERIOR	20	12-2 W/G
20B	WASHER-ARC-FAULT/GROUND FAULT	20	12-2 W/G
21-22B	DRYER (GROUND FAULT BREAKER)	30	10-3 W/G
26B	MICROWAVE-ARC-FAULT/GROUND FAULT	20	12-2 W/G
29-30B	RANGE- GROUND FAULT BREAKER	50	6-3 W/G
37-38B	A/C DISCONNECT	30	10-3 W/G

REV.	DATE	DRN BY	DESCRIPTION
A	8/26/24	KSE	PRELIMINARY ISSUE

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

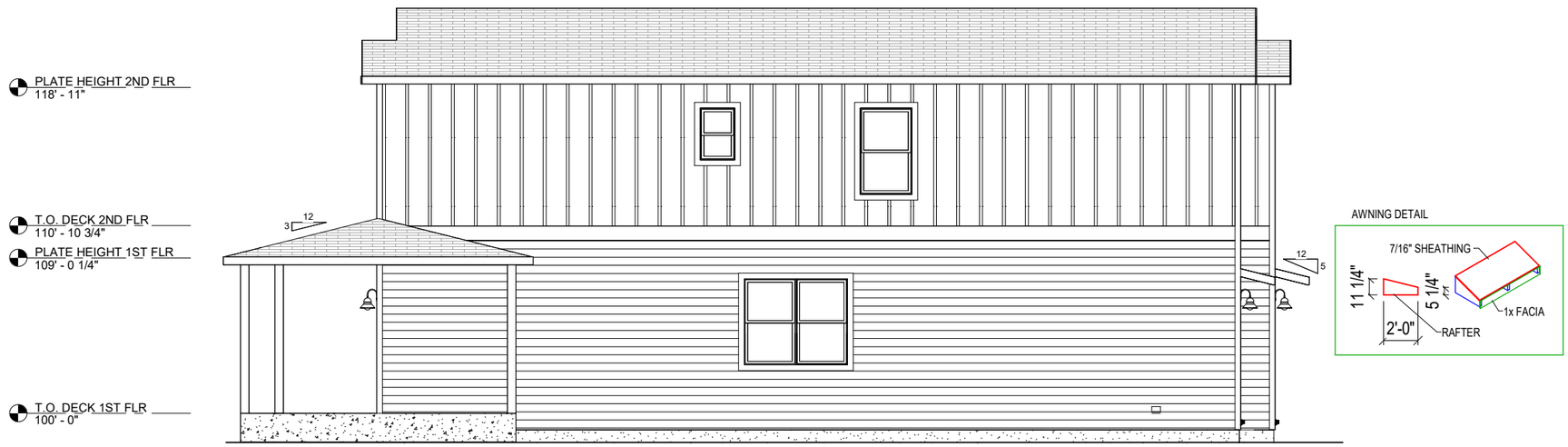
SITE ADDRESS HASTINGS, NE

DRAWING TITLE 2ND FLR ELECTRICAL PLAN

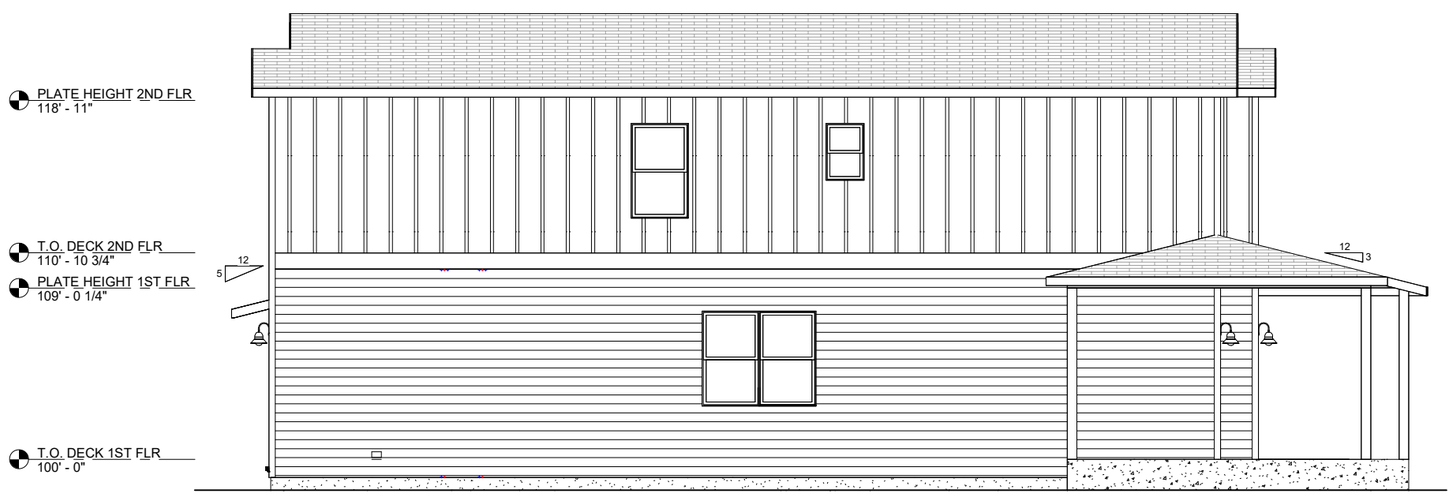
BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24
DWG No. 08A

2/21/2025 11:58:00 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



1 FRONT ELEVATION



2 REAR ELEVATION

REV.	DATE	DRN BY	DESCRIPTION
A	8/26/24	KSE	PRELIMINARY ISSUE

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF LOAD: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

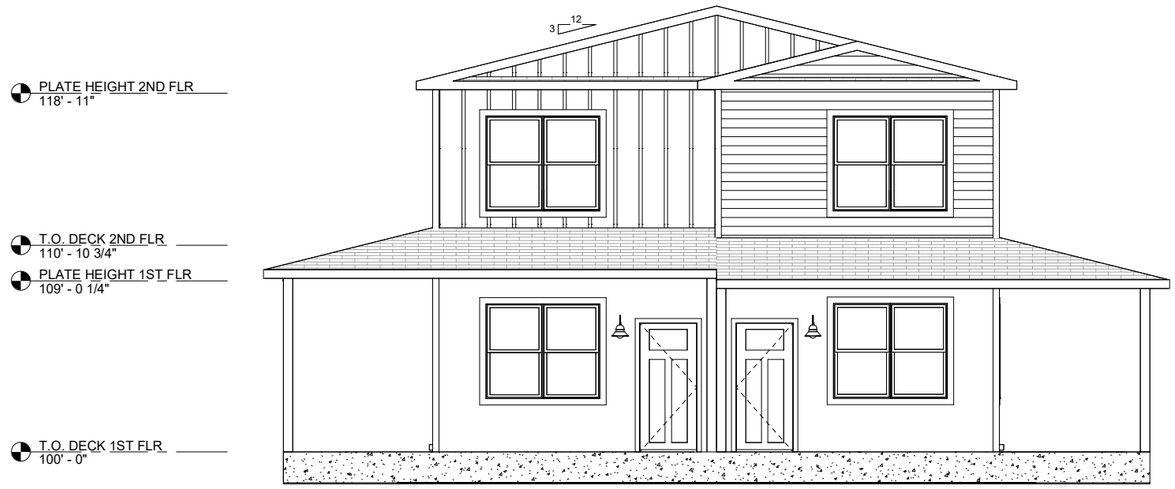
DRAWING TITLE EXTERIOR ELEVATIONS

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

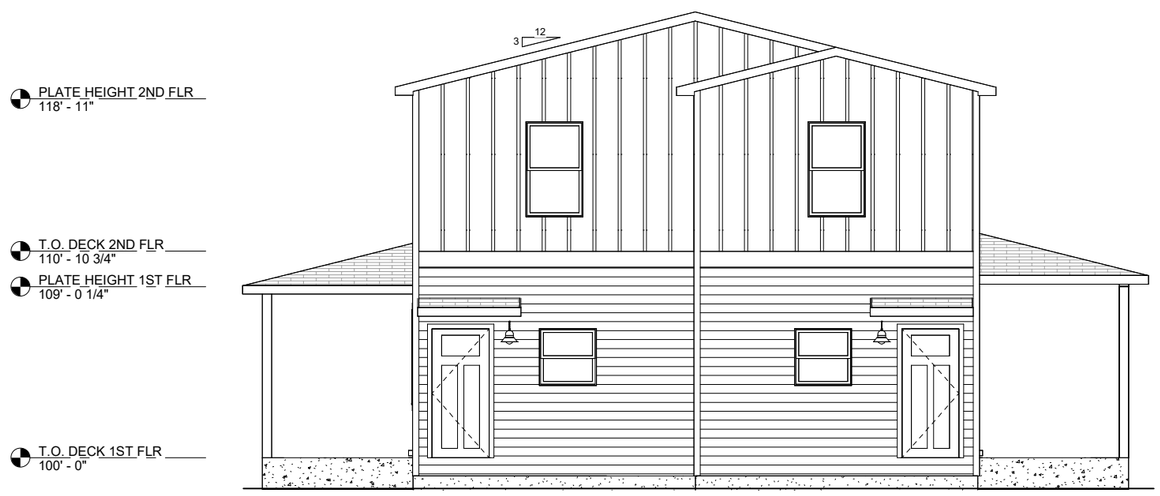
DRN. BY: KSE
DATE: 8/26/24

DWG No. 09

2/21/2025 11:58:01 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



1 LEFT ELEVATION



2 RIGHT ELEVATION

REV.	DATE	DRN BY	DESCRIPTION

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

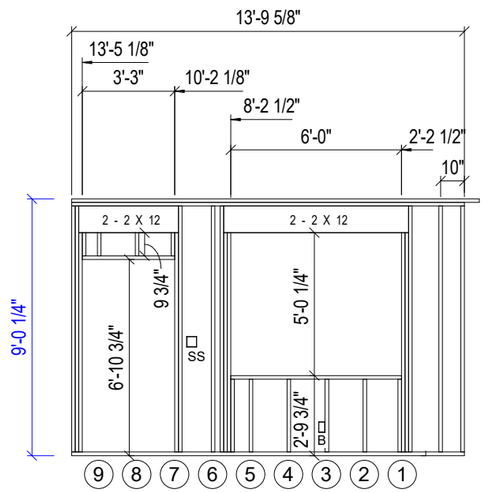
DRAWING TITLE EXTERIOR ELEVATIONS

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

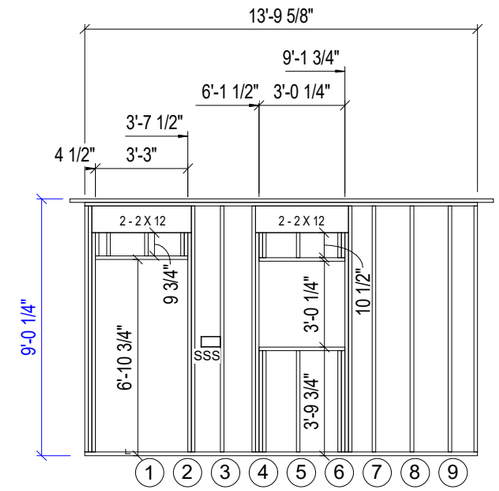
DWG No. 09A

2/21/2025 11:58:02 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



1/10 A TAIL ENDWALL

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"



2/10 A HITCH ENDWALL

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

A TAIL ENDWALL				
ID #	QTY	Framing ID	LENGTH	Framing Category
2 x 6				
AEW2	1	2 x 6	13' - 9 5/8"	BOTTOM PLATE
AEW2	4	2 x 6	0' - 9 3/4"	CRIPPLE
AEW2	6	2 x 6	2' - 6 3/4"	CRIPPLE
AEW2	6	2 x 6	7' - 8 1/2"	JACK
AEW2	4	2 x 6	8' - 7 3/4"	KING
AEW2	1	2 x 6	6' - 0"	SILL
AEW2	1	2 x 6	3' - 3"	STUD
AEW2	4	2 x 6	8' - 7 3/4"	STUD
AEW2	1	2 x 6	13' - 9 5/8"	TOP PLATE
AEW2	1	2 x 6	14' - 3 7/8"	TOP PLATE
2 X 12				
AEW2	2	2 X 12	3' - 6"	HEADER
AEW2	2	2 X 12	6' - 6"	HEADER

A HITCH ENDWALL				
ID #	QTY	Framing ID	LENGTH	Framing Category
2 x 6				
AEW1	1	2 x 6	13' - 9 5/8"	BOTTOM PLATE
AEW1	5	2 x 6	0' - 9 3/4"	CRIPPLE
AEW1	5	2 x 6	0' - 10 1/2"	CRIPPLE
AEW1	4	2 x 6	7' - 8 1/2"	JACK
AEW1	4	2 x 6	8' - 7 3/4"	KING
AEW1	1	2 x 6	3' - 0 1/4"	STUD
AEW1	1	2 x 6	3' - 3"	STUD
AEW1	6	2 x 6	8' - 7 3/4"	STUD
AEW1	1	2 x 6	13' - 9 5/8"	TOP PLATE
AEW1	1	2 x 6	14' - 10 5/8"	TOP PLATE
2 X 12				
AEW1	2	2 X 12	3' - 3 1/4"	HEADER
AEW1	2	2 X 12	3' - 6"	HEADER

REV.	DATE	DRN BY	DESCRIPTION
A	8/26/24	KSE	PRELIMINARY ISSUE

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF LOAD: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

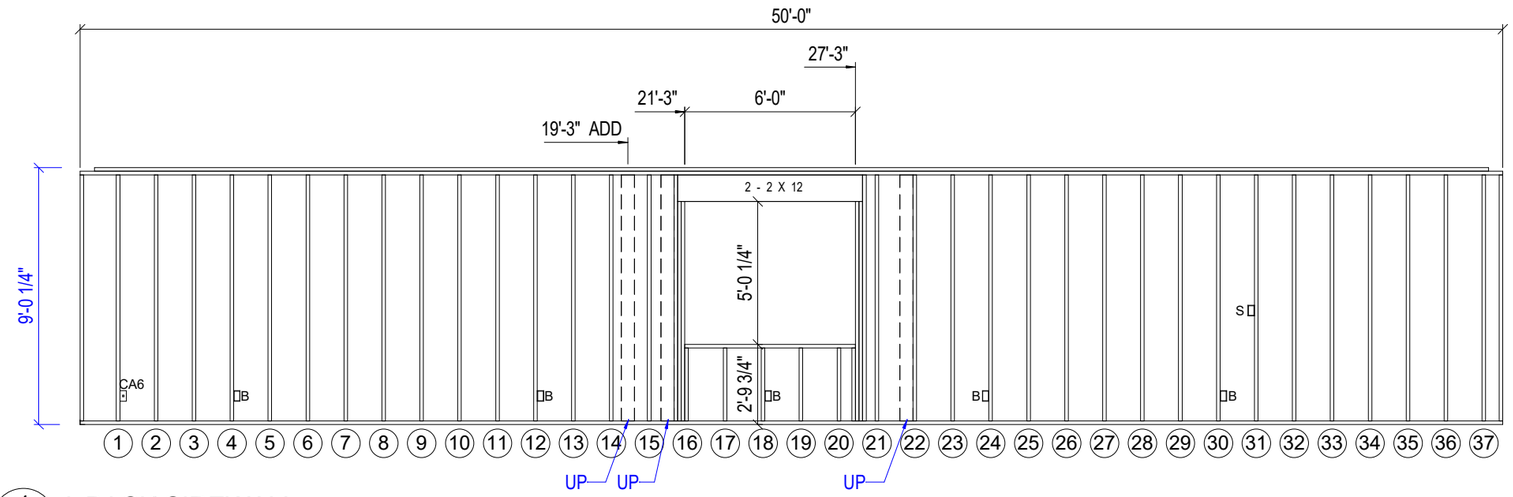
DRAWING TITLE A ENDWALLS

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

DWG No. 10

2/21/2025 11:58:03 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



1 / 10A A BACK SIDEWALL

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

A BACK SIDEWALL				
ID #	QTY	Framing ID	LENGTH	Framing Category
2 x 6				
ASW	1	2 x 6	50' - 0"	BOTTOM PLATE
ASW	6	2 x 6	2' - 6 3/4"	CRIPPLE
ASW	4	2 x 6	7' - 8 1/2"	JACK
ASW	2	2 x 6	8' - 7 3/4"	KING
ASW	1	2 x 6	6' - 0"	SILL
ASW	37	2 x 6	8' - 7 3/4"	STUD
ASW	1	2 x 6	49' - 0"	TOP PLATE
ASW	1	2 x 6	50' - 0"	TOP PLATE
2 X 12				
ASW	2	2 X 12	6' - 6"	HEADER

REV.	DATE	DRN BY	DESCRIPTION

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF LOAD: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

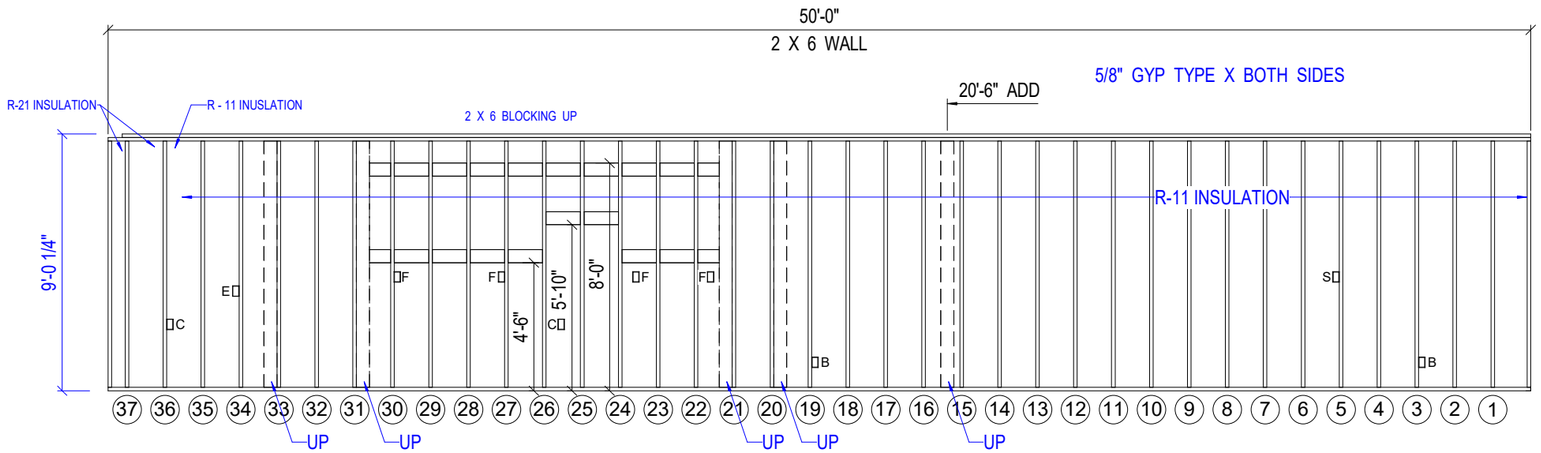
DRAWING TITLE A BACK SIDEWALL

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

DWG No. 10A

2/21/2025 11:58:03 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



1 / 10C A FRONT COMMONWALL

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

A FRONT COMMONWALL				
ID #	QTY	Framing ID	LENGTH	Framing Category
2 x 6				
ACW	1	2 x 6	50' - 0"	BOTTOM PLATE
ACW	44	2 x 6	8' - 7 3/4"	STUD
ACW	1	2 x 6	49' - 6"	TOP PLATE
ACW	1	2 x 6	50' - 0"	TOP PLATE

REV. | DATE | DRN BY | DESCRIPTION

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

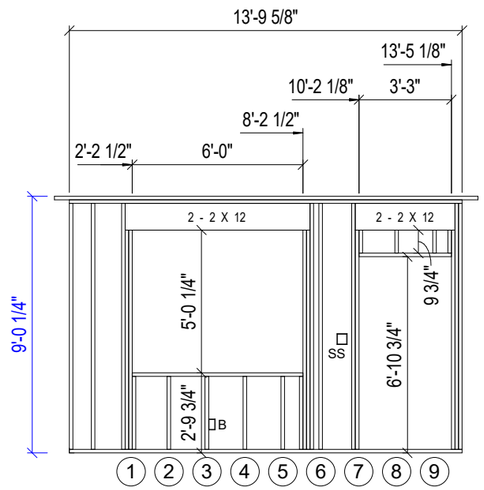
DRAWING TITLE A FRONT COMMONWALL

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

DWG No. 10C

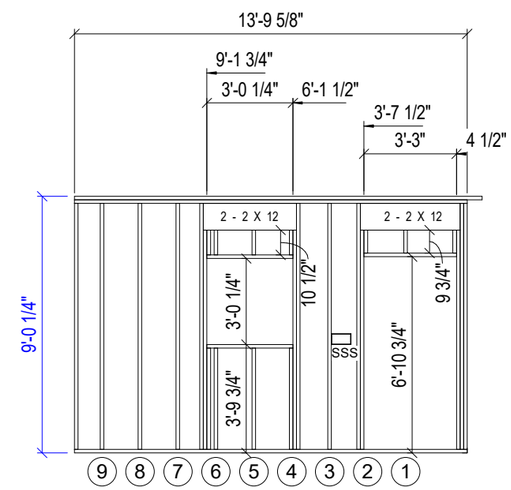
2/21/2025 11:58:04 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



1 / 10D C TAIL ENDWALL

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

C TAIL ENDWALL				
ID #	QTY	Framing ID	LENGTH	Framing Category
2 x 6				
CEW2	1	2 x 6	13' - 9 5/8"	BOTTOM PLATE
CEW2	4	2 x 6	0' - 9 3/4"	CRIPPLE
CEW2	6	2 x 6	2' - 6 3/4"	CRIPPLE
CEW2	6	2 x 6	7' - 8 1/2"	JACK
CEW2	4	2 x 6	8' - 7 3/4"	KING
CEW2	1	2 x 6	6' - 0"	SILL
CEW2	4	2 x 6	8' - 7 3/4"	STUD
CEW2	1	2 x 6	13' - 9 5/8"	TOP PLATE
CEW2	1	2 x 6	14' - 10 5/8"	TOP PLATE
2 X 12				
CEW2	2	2 X 12	3' - 6"	HEADER
CEW2	2	2 X 12	6' - 6"	HEADER



2 / 10D C HITCH ENDWALL

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

C HITCH ENDWALL				
ID #	QTY	Framing ID	LENGTH	Framing Category
2 x 6				
CEW1	1	2 x 6	13' - 9 5/8"	BOTTOM PLATE
CEW1	3	2 x 6	0' - 9 3/4"	CRIPPLE
CEW1	4	2 x 6	0' - 10 1/2"	CRIPPLE
CEW1	4	2 x 6	3' - 6 3/4"	CRIPPLE
CEW1	4	2 x 6	7' - 8 1/2"	JACK
CEW1	4	2 x 6	8' - 7 3/4"	KING
CEW1	1	2 x 6	3' - 0 1/4"	SILL
CEW1	1	2 x 6	3' - 0 1/4"	STUD
CEW1	1	2 x 6	3' - 3"	STUD
CEW1	6	2 x 6	8' - 7 3/4"	STUD
CEW1	1	2 x 6	13' - 9 5/8"	TOP PLATE
CEW1	1	2 x 6	14' - 3 7/8"	TOP PLATE
2 X 12				
CEW1	2	2 X 12	3' - 3 1/4"	HEADER
CEW1	2	2 X 12	3' - 6"	HEADER

REV.	DATE	DRN BY	DESCRIPTION

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF LOAD: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

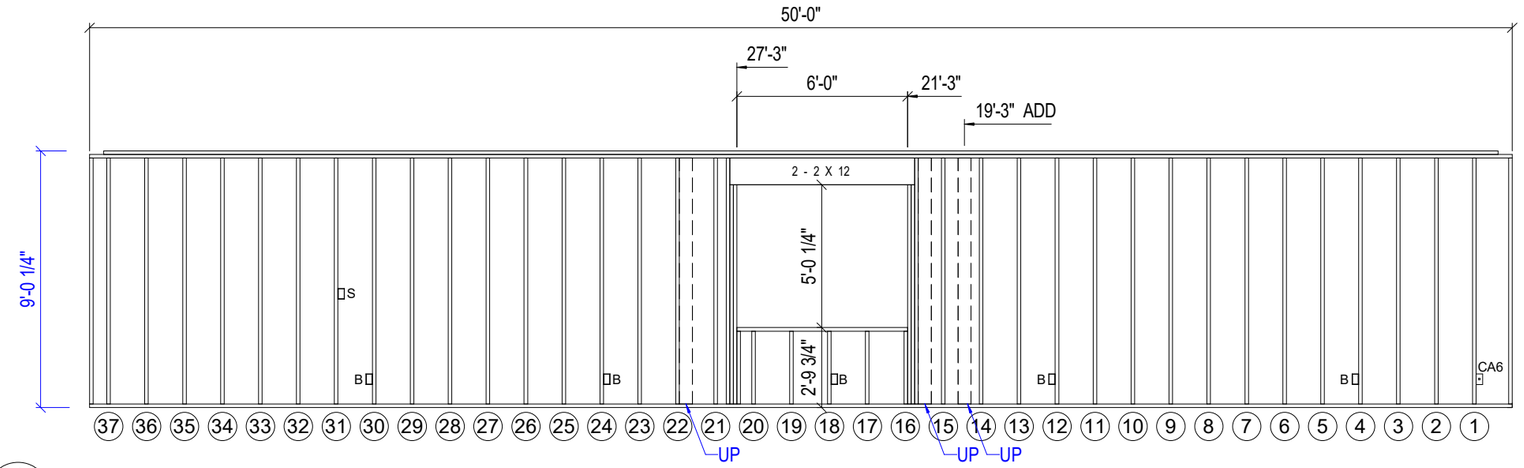
DRAWING TITLE C ENDWALLS

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

DWG No. 10D

2/21/2025 11:58:05 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



1 / 10E C FRONT SIDEWALL

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

C FRONT SIDEWALL				
ID #	QTY	Framing ID	LENGTH	Framing Category
2 x 6				
CSW	1	2 x 6	50' - 0"	BOTTOM PLATE
CSW	6	2 x 6	2' - 6 3/4"	CRIPPLE
CSW	4	2 x 6	7' - 8 1/2"	JACK
CSW	2	2 x 6	8' - 7 3/4"	KING
CSW	1	2 x 6	6' - 0"	SILL
CSW	37	2 x 6	8' - 7 3/4"	STUD
CSW	1	2 x 6	49' - 0"	TOP PLATE
CSW	1	2 x 6	50' - 0"	TOP PLATE
2 X 12				
CSW	2	2 X 12	6' - 6"	HEADER

REV. | DATE | DRN BY | DESCRIPTION

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF LOAD: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

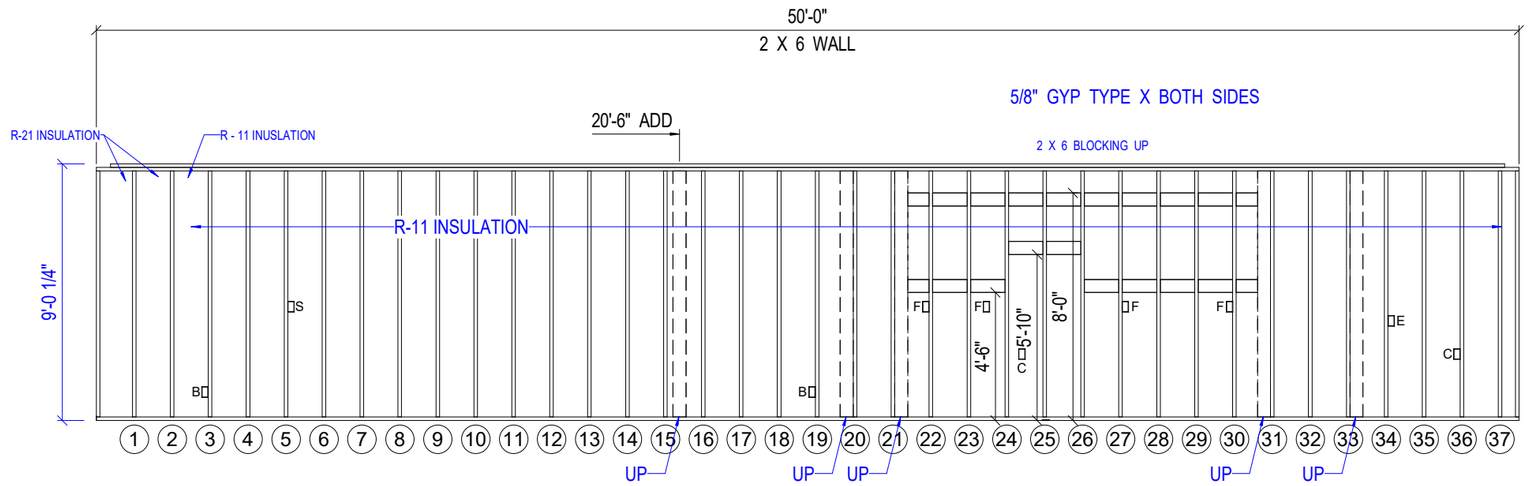
DRAWING TITLE C FRONT SIDEWALL

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

DWG No. 10E

2/21/2025 11:58:05 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



1 / 10F C BACK COMMONWALL

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

C BACK COMMONWALL				
ID #	QTY	Framing ID	LENGTH	Framing Category
2 x 6				
CCW	1	2 x 6	50' - 0"	BOTTOM PLATE
CCW	44	2 x 6	8' - 7 3/4"	STUD
CCW	1	2 x 6	49' - 0"	TOP PLATE
CCW	1	2 x 6	50' - 0"	TOP PLATE

REV. | DATE | DRN BY | DESCRIPTION

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

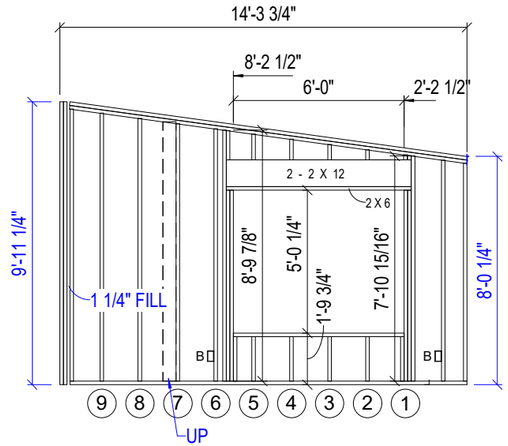
DRAWING TITLE C BACK COMMONWALL

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

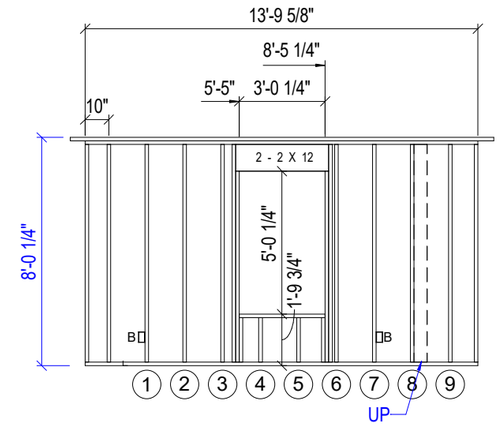
DWG No. 10F

2/21/2025 11:58:06 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



1 / 10G B TAIL ENDWALL

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"



2 / 10G B HITCH ENDWALL

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

B TAIL ENDWALL

ID #	QTY	Framing ID	LENGTH	Framing Category
2 x 6				
BEW2	1	2 x 6	13' - 11 1/2"	BOTTOM PLATE
BEW2	1	2 x 6	0' - 1 7/8"	CRIPPLE
BEW2	1	2 x 6	0' - 2 1/8"	CRIPPLE
BEW2	1	2 x 6	0' - 4 5/16"	CRIPPLE
BEW2	1	2 x 6	0' - 6 9/16"	CRIPPLE
BEW2	1	2 x 6	0' - 8 3/4"	CRIPPLE
BEW2	1	2 x 6	0' - 10 15/16"	CRIPPLE
BEW2	1	2 x 6	1' - 0 7/16"	CRIPPLE
BEW2	6	2 x 6	1' - 6 3/4"	CRIPPLE
BEW2	4	2 x 6	6' - 8 1/2"	JACK
BEW2	1	2 x 6	7' - 10 15/16"	KING
BEW2	1	2 x 6	8' - 9 7/8"	KING
BEW2	1	2 x 6	6' - 0"	SILL
BEW2	1	2 x 6	6' - 6"	STUD
BEW2	1	2 x 6	7' - 7 15/16"	STUD
BEW2	1	2 x 6	7' - 9 3/16"	STUD
BEW2	1	2 x 6	8' - 10 3/8"	STUD
BEW2	1	2 x 6	9' - 0 9/16"	STUD
BEW2	1	2 x 6	9' - 1 5/16"	STUD
BEW2	1	2 x 6	9' - 2 3/4"	STUD
BEW2	1	2 x 6	9' - 5"	STUD
BEW2	1	2 x 6	9' - 6 3/4"	STUD
BEW2	2	2 x 6	9' - 11 1/4"	STUD
BEW2	2	2 x 6	14' - 1 1/4"	TOP PLATE
2 X 12				
BEW2	2	2 X 12	6' - 6"	HEADER

B HITCH ENDWALL

ID #	QTY	Framing ID	LENGTH	Framing Category
2 x 6				
BEW1	1	2 x 6	13' - 9 5/8"	BOTTOM PLATE
BEW1	4	2 x 6	1' - 6 3/4"	CRIPPLE
BEW1	2	2 x 6	6' - 8 1/2"	JACK
BEW1	2	2 x 6	7' - 7 3/4"	KING
BEW1	1	2 x 6	3' - 0 1/4"	SILL
BEW1	11	2 x 6	7' - 7 3/4"	STUD
BEW1	1	2 x 6	13' - 9 5/8"	TOP PLATE
BEW1	1	2 x 6	14' - 10 5/8"	TOP PLATE
2 X 12				
BEW1	2	2 X 12	3' - 3 1/4"	HEADER

REV.	DATE	DRN BY	DESCRIPTION

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF: 40 PSF
ZONE:
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

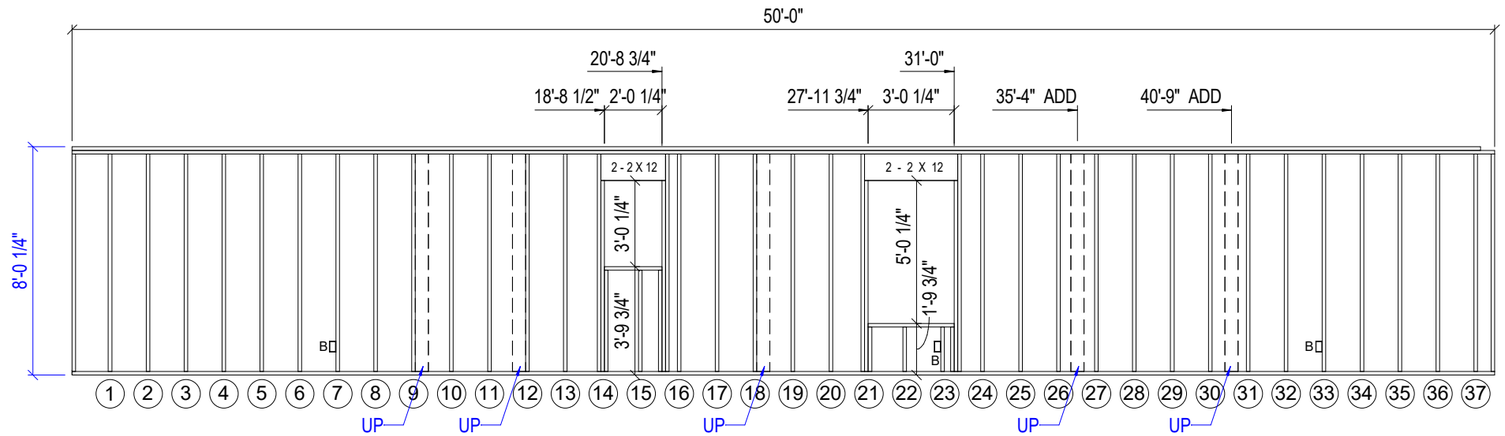
DRAWING TITLE B ENDWALLS

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

DWG No. 10G

2/21/2025 11:58:07 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



1 / 10H B BACK SIDEWALL

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

B BACK SIDEWALL				
ID #	QTY	Framing ID	LENGTH	Framing Category
2 x 6				
BSW	1	2 x 6	50' - 0"	BOTTOM PLATE
BSW	4	2 x 6	1' - 6 3/4"	CRIPPLE
BSW	3	2 x 6	3' - 6 3/4"	CRIPPLE
BSW	4	2 x 6	6' - 8 1/2"	JACK
BSW	4	2 x 6	7' - 7 3/4"	KING
BSW	1	2 x 6	2' - 0 1/4"	SILL
BSW	1	2 x 6	3' - 0 1/4"	SILL
BSW	39	2 x 6	7' - 7 3/4"	STUD
BSW	1	2 x 6	49' - 6"	TOP PLATE
BSW	1	2 x 6	50' - 0"	TOP PLATE
2 X 12				
BSW	2	2 X 12	2' - 3 1/4"	HEADER
BSW	2	2 X 12	3' - 3 1/4"	HEADER

REV.	DATE	DRN BY	DESCRIPTION

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF LOAD: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

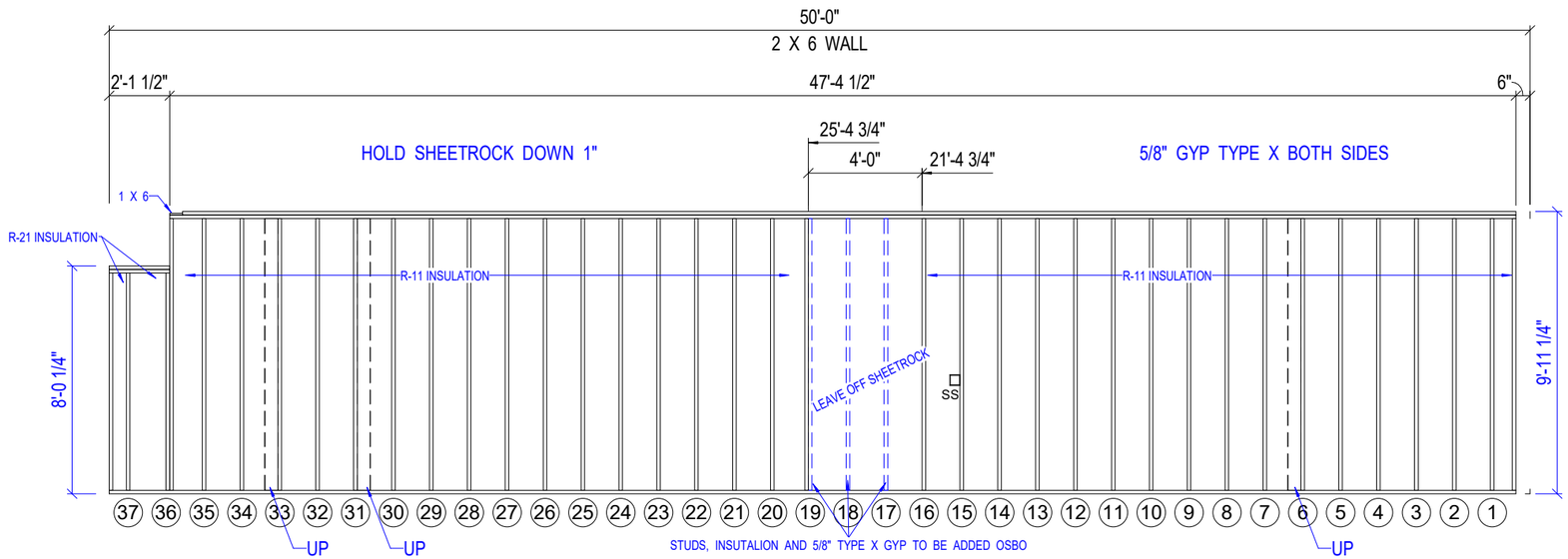
DRAWING TITLE B BACK SIDEWALL

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

DWG No. 10H

2/21/2025 11:58:08 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



1 / 10I B FRONT COMMONWALL

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

B FRONT COMMONWALL				
ID #	QTY	Framing ID	LENGTH	Framing Category
2 x 6				
BCW	1	2 x 6	49' - 6"	BOTTOM PLATE
BCW	3	2 x 6	7' - 7 3/4"	STUD
BCW	38	2 x 6	9' - 6 3/4"	STUD
BCW	2	2 x 6	2' - 1 1/2"	TOP PLATE
BCW	1	2 x 6	46' - 11"	TOP PLATE
BCW	1	2 x 6	47' - 4 1/2"	TOP PLATE

REV.	DATE	DRN BY	DESCRIPTION

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

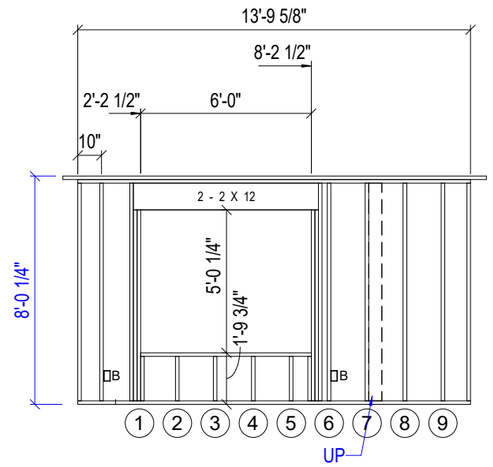
DRAWING TITLE B FRONT COMMONWALL

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

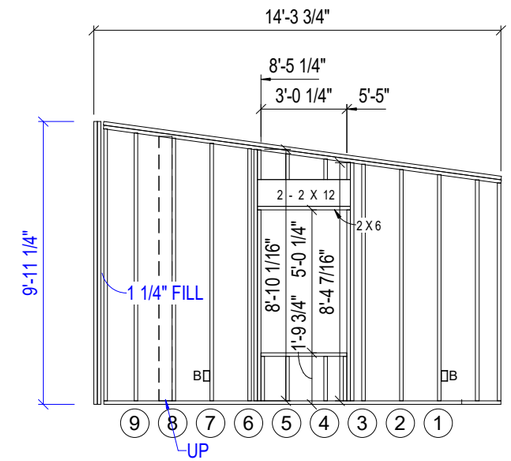
DWG No. 10I

2/21/2025 11:58:08 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



1 / 10J D TAIL ENDWALL

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"



2 / 10J D HITCH ENDWALL

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

D TAIL ENDWALL				
ID #	QTY	Framing ID	LENGTH	Framing Category
2 x 6				
DEW2	1	2 x 6	13' - 9 5/8"	BOTTOM PLATE
DEW2	6	2 x 6	1' - 6 3/4"	CRIPPLE
DEW2	4	2 x 6	6' - 8 1/2"	JACK
DEW2	2	2 x 6	7' - 7 3/4"	KING
DEW2	1	2 x 6	6' - 0"	SILL
DEW2	8	2 x 6	7' - 7 3/4"	STUD
DEW2	1	2 x 6	13' - 9 5/8"	TOP PLATE
DEW2	1	2 x 6	14' - 10 5/8"	TOP PLATE
2 X 12				
DEW2	2	2 X 12	6' - 6"	HEADER

D HITCH ENDWALL				
ID #	QTY	Framing ID	LENGTH	Framing Category
2 x 6				
DEW1	1	2 x 6	13' - 11 1/2"	BOTTOM PLATE
DEW1	1	2 x 6	0' - 7 3/8"	CRIPPLE
DEW1	1	2 x 6	0' - 8 3/4"	CRIPPLE
DEW1	1	2 x 6	0' - 10 15/16"	CRIPPLE
DEW1	1	2 x 6	1' - 0 9/16"	CRIPPLE
DEW1	4	2 x 6	1' - 6 3/4"	CRIPPLE
DEW1	2	2 x 6	6' - 8 1/2"	JACK
DEW1	1	2 x 6	8' - 4 7/16"	KING
DEW1	1	2 x 6	8' - 10 1/16"	KING
DEW1	1	2 x 6	3' - 0 1/4"	SILL
DEW1	1	2 x 6	3' - 3 1/4"	STUD
DEW1	1	2 x 6	7' - 7 15/16"	STUD
DEW1	1	2 x 6	7' - 9 3/16"	STUD
DEW1	1	2 x 6	7' - 11 3/8"	STUD
DEW1	1	2 x 6	8' - 1 9/16"	STUD
DEW1	1	2 x 6	8' - 3 13/16"	STUD
DEW1	1	2 x 6	8' - 10 3/8"	STUD
DEW1	1	2 x 6	9' - 0 9/16"	STUD
DEW1	1	2 x 6	9' - 2 3/4"	STUD
DEW1	1	2 x 6	9' - 3 1/2"	STUD
DEW1	1	2 x 6	9' - 5"	STUD
DEW1	1	2 x 6	9' - 6 3/4"	STUD
DEW1	2	2 x 6	9' - 11 1/4"	STUD
DEW1	2	2 x 6	14' - 1 1/4"	TOP PLATE
2 X 12				
DEW1	2	2 X 12	3' - 3 1/4"	HEADER

REV.	DATE	DRN BY	DESCRIPTION

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

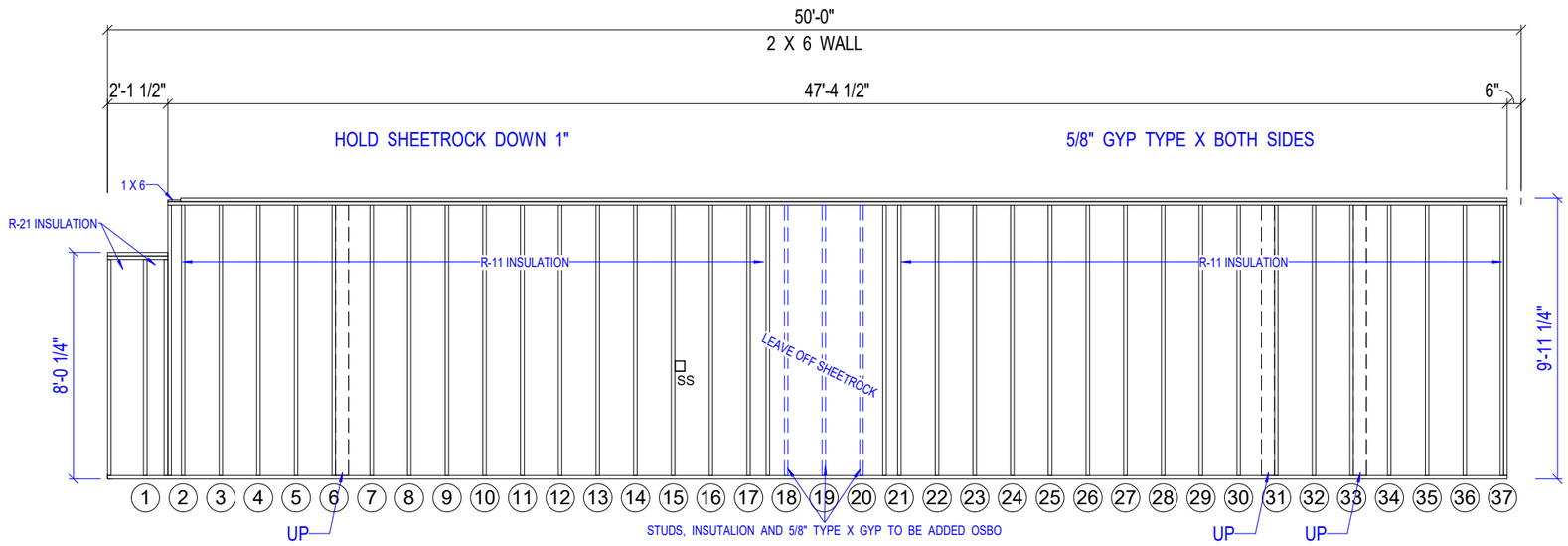
DRAWING TITLE D ENDWALLS

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

DWG No. 10J

2/21/2025 11:58:09 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



1 / 10K D BACK COMMONWALL

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

D BACK COMMONWALL				
ID #	QTY	Framing ID	LENGTH	Framing Category
2 x 6				
DCW	1	2 x 6	49' - 6"	BOTTOM PLATE
DCW	3	2 x 6	7' - 7 3/4"	STUD
DCW	40	2 x 6	9' - 6 3/4"	STUD
DCW	2	2 x 6	2' - 1 1/2"	TOP PLATE
DCW	1	2 x 6	46' - 11"	TOP PLATE
DCW	1	2 x 6	47' - 4 1/2"	TOP PLATE

REV.	DATE	DRN BY	DESCRIPTION

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF LOAD: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

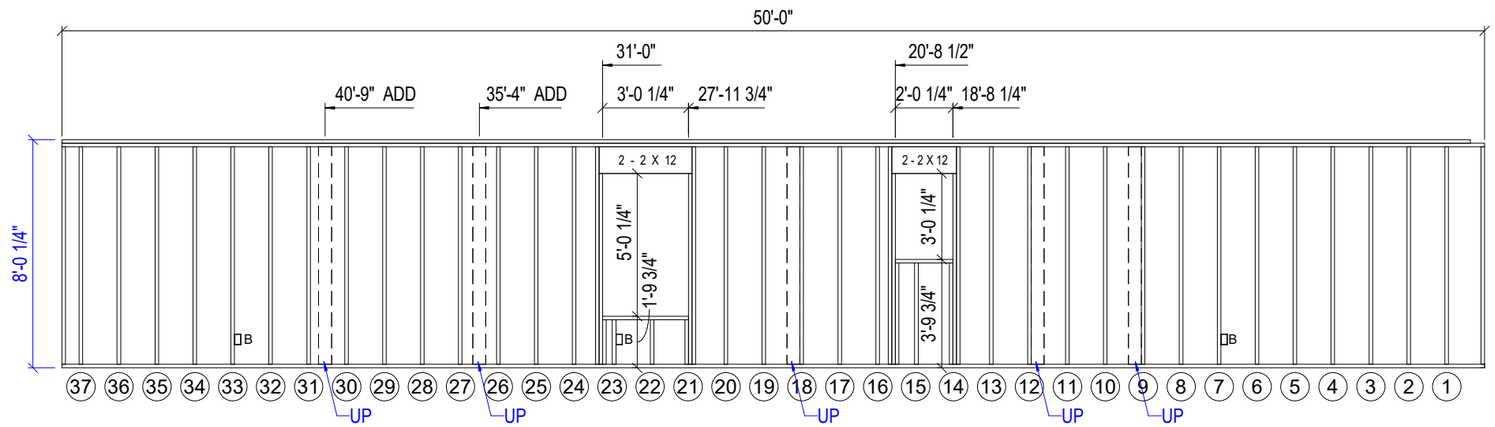
DRAWING TITLE D BACK COMMONWALL

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

DWG No. 10K

2/21/2025 11:58:10 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



1 / 10L D FRONT SIDEWALL

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

D FRONT SIDEWALL				
ID #	QTY	Framing ID	LENGTH	Framing Category
2 x 6				
DSW	1	2 x 6	50' - 0"	BOTTOM PLATE
DSW	4	2 x 6	1' - 6 3/4"	CRIPPLE
DSW	3	2 x 6	3' - 6 3/4"	CRIPPLE
DSW	4	2 x 6	6' - 8 1/2"	JACK
DSW	4	2 x 6	7' - 7 3/4"	KING
DSW	1	2 x 6	2' - 0 1/4"	SILL
DSW	1	2 x 6	3' - 0 1/4"	SILL
DSW	39	2 x 6	7' - 7 3/4"	STUD
DSW	1	2 x 6	49' - 6"	TOP PLATE
DSW	1	2 x 6	50' - 0"	TOP PLATE
2 X 12				
DSW	2	2 X 12	2' - 3 1/4"	HEADER
DSW	2	2 X 12	3' - 3 1/4"	HEADER

REV. DATE DRN BY DESCRIPTION

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF: 40 PSF
ZONE: 115 VULT MPH
WIND ZONE:

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

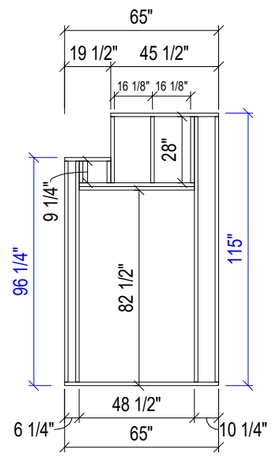
DRAWING TITLE D FRONT SIDEWALL

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

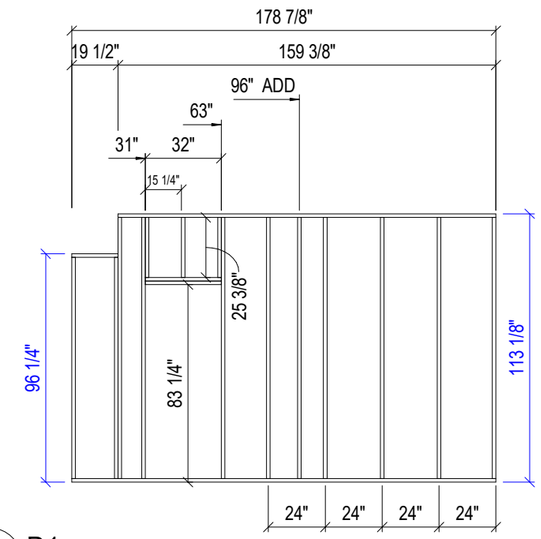
DWG No. 10L

2/21/2025 11:58:10 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



1 / 10M B1
SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

B1				
ID #	QTY	Framing ID	LENGTH	Framing Category
2 x 4				
B1	1	2 x 4	5' - 5"	BOTTOM PLATE
B1	2	2 x 4	0' - 9 1/4"	CRIPPLE
B1	3	2 x 4	2' - 4"	CRIPPLE
B1	1	2 x 4	7' - 9 1/4"	KING
B1	1	2 x 4	9' - 4"	KING
B1	2	2 x 4	4' - 0 1/2"	STUD
B1	1	2 x 4	7' - 9 1/4"	STUD
B1	1	2 x 4	9' - 4"	STUD
B1	1	2 x 4	1' - 7 1/2"	TOP PLATE
B1	1	2 x 4	3' - 9 1/2"	TOP PLATE



2 / 10M D1
SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

D1				
ID #	QTY	Framing ID	LENGTH	Framing Category
2 x 4				
D1	1	2 x 4	14' - 10 7/8"	BOTTOM PLATE
D1	3	2 x 4	2' - 1 3/8"	CRIPPLE
D1	2	2 x 4	9' - 2 1/8"	KING
D1	2	2 x 4	2' - 8"	STUD
D1	2	2 x 4	7' - 9 1/4"	STUD
D1	7	2 x 4	9' - 2 1/8"	STUD
D1	1	2 x 4	1' - 7 1/2"	TOP PLATE
D1	1	2 x 4	13' - 3 3/8"	TOP PLATE

REV.	DATE	DRN BY	DESCRIPTION

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF LOAD: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

DRAWING TITLE B1 AND D1 WALLS

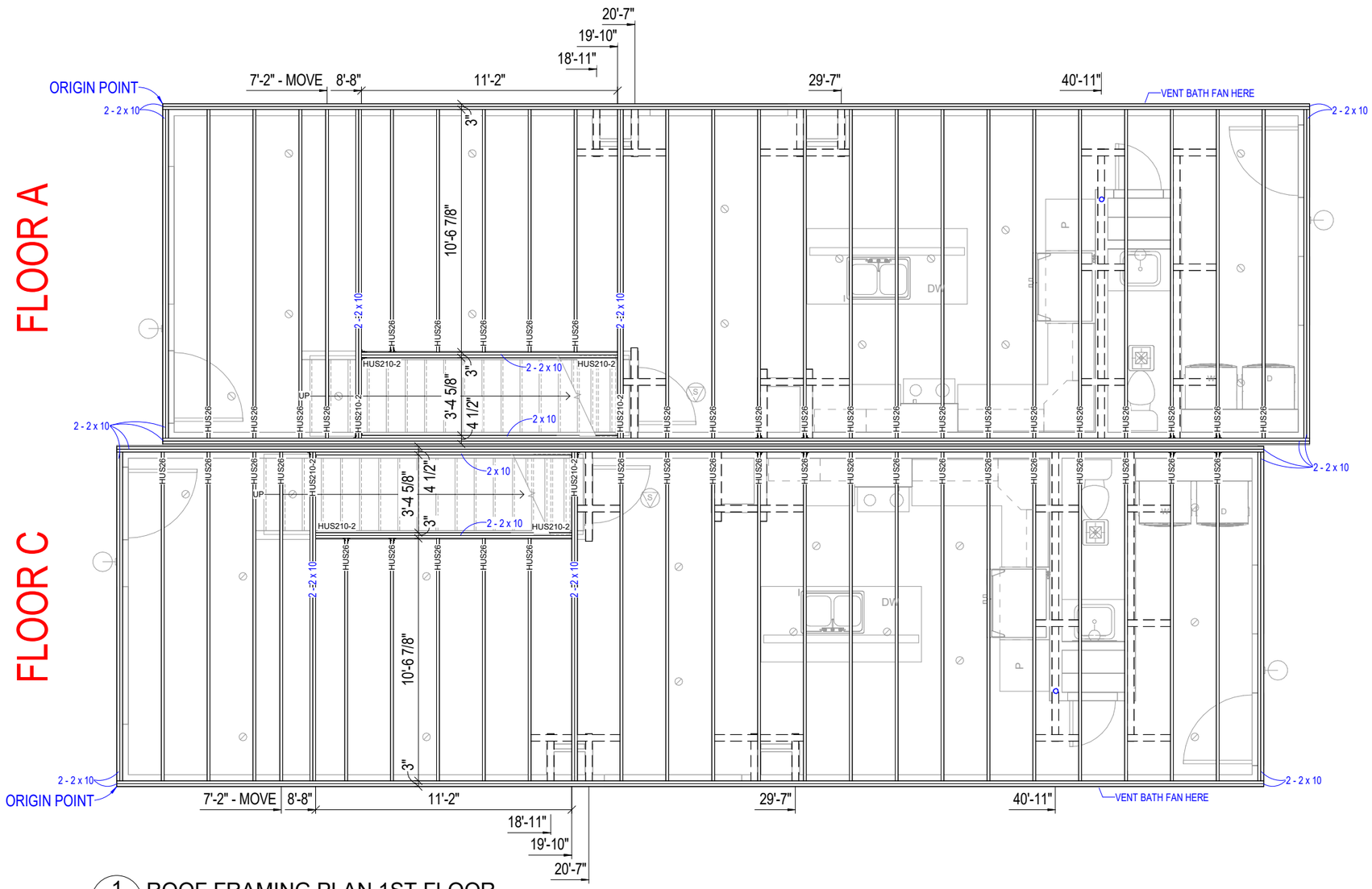
BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

DWG No. 10M

2/21/2025 11:58:11 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt

2 x 6 ROOF JOISTS @ 2' - 0" O.C. - U.N.O.



1/12 ROOF FRAMING PLAN 1ST FLOOR

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

ROOF JOIST HANGER SCHEDULE

PART	ID #	QTY	Build Location	Comments	Type Comments
580708	HUS210-2	4	FLOOR A	ROOF	
580708	HUS210-2	4	FLOOR C	ROOF	
580768	HUS26	23	FLOOR A	ROOF	
580768	HUS26	23	FLOOR C	ROOF	

REV.	DATE	DRN BY	DESCRIPTION
A	8/26/24	KSE	PRELIMINARY ISSUE

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

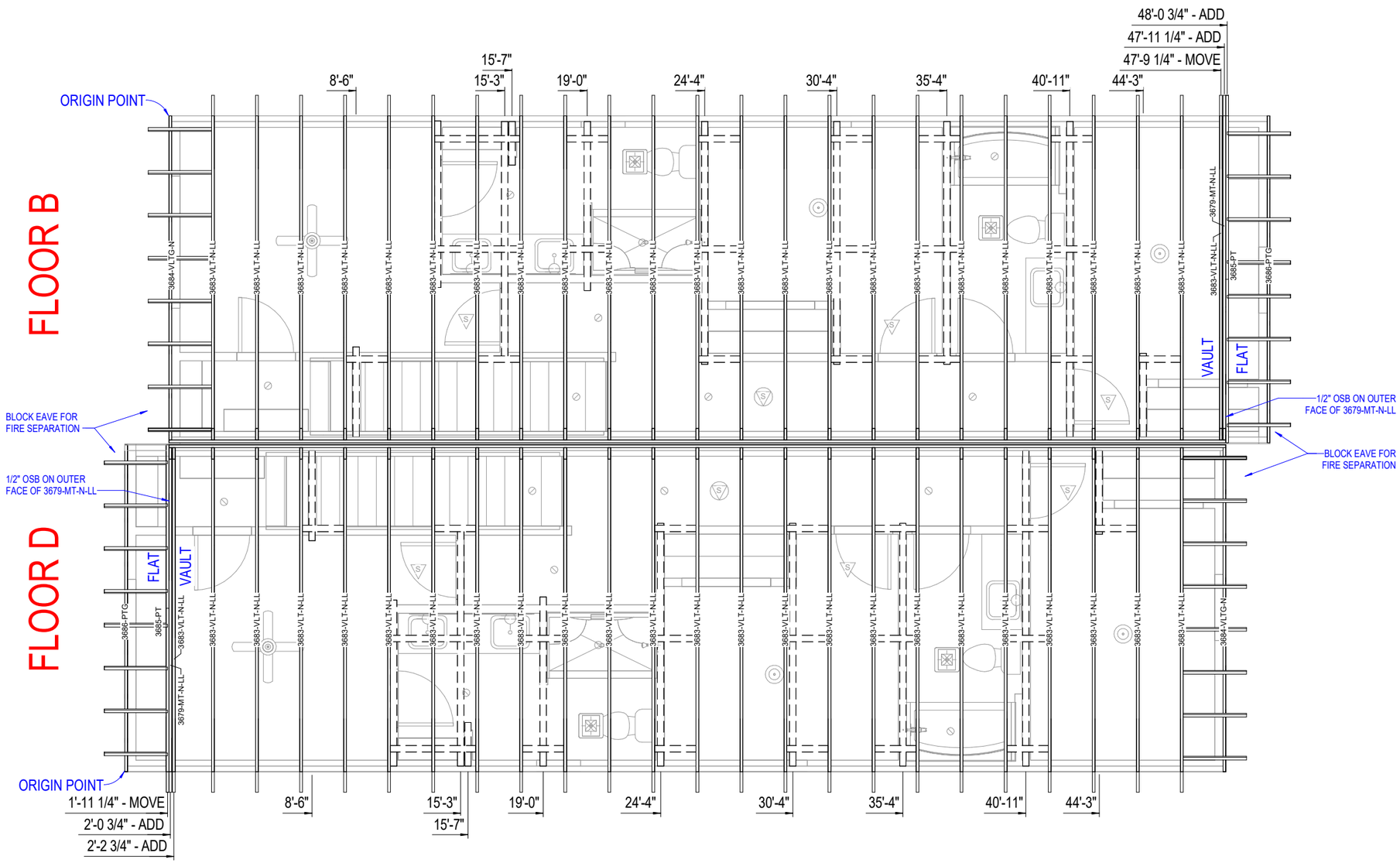
DRAWING TITLE 1ST FLR ROOF FRAMING PLAN

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

DWG No. 12

2/21/2025 11:58:12 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



1 / 12A ROOF FRAMING PLAN 2ND FLOOR

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

ROOF FRAMING SCHEDULE

PART	ID #	Count	Description	Build Location	Comments	Type Comments
308731	3679-MT-N-LL	1	3/12 - 14'-8 1/2" - MONO TRUSS - 45# / 120 MPH	FLOOR B		2 13/16" PITCH
308731	3679-MT-N-LL	1	3/12 - 14'-8 1/2" - MONO TRUSS - 45# / 120 MPH	FLOOR D		2 13/16" PITCH
308733	3683-VLT-N-LL	24	3/12 - 14'-8 1/2" - VAULTED TRUSS - 45# / 120 MPH	FLOOR B		2 13/16" PITCH
308733	3683-VLT-N-LL	24	3/12 - 14'-8 1/2" - VAULTED TRUSS - 45# / 120 MPH	FLOOR D		2 13/16" PITCH
308734	3684-VLTG-N	1	3/12 - 14'-8 1/2" - VAULTED GABLE END TRUSS - 100# / 120 MPH	FLOOR B		2 13/16" PITCH
308734	3684-VLTG-N	1	3/12 - 14'-8 1/2" - VAULTED GABLE END TRUSS - 100# / 120 MPH	FLOOR D		2 13/16" PITCH
308735	3685-PT	1	3/12 - 14'-10" - PROTRUSION TRUSS - 45# / 120 MPH	FLOOR B		2 13/16" PITCH
308735	3685-PT	1	3/12 - 14'-10" - PROTRUSION TRUSS - 45# / 120 MPH	FLOOR D		2 13/16" PITCH
308736	3686-PTG	1	3/12 - 14'-10" - PROTRUSION GABLE END TRUSS - 100# / 120 MPH	FLOOR B		2 13/16" PITCH
308736	3686-PTG	1	3/12 - 14'-10" - PROTRUSION GABLE END TRUSS - 100# / 120 MPH	FLOOR D		2 13/16" PITCH

REV. | DATE | DRN BY | DESCRIPTION

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF LOAD: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

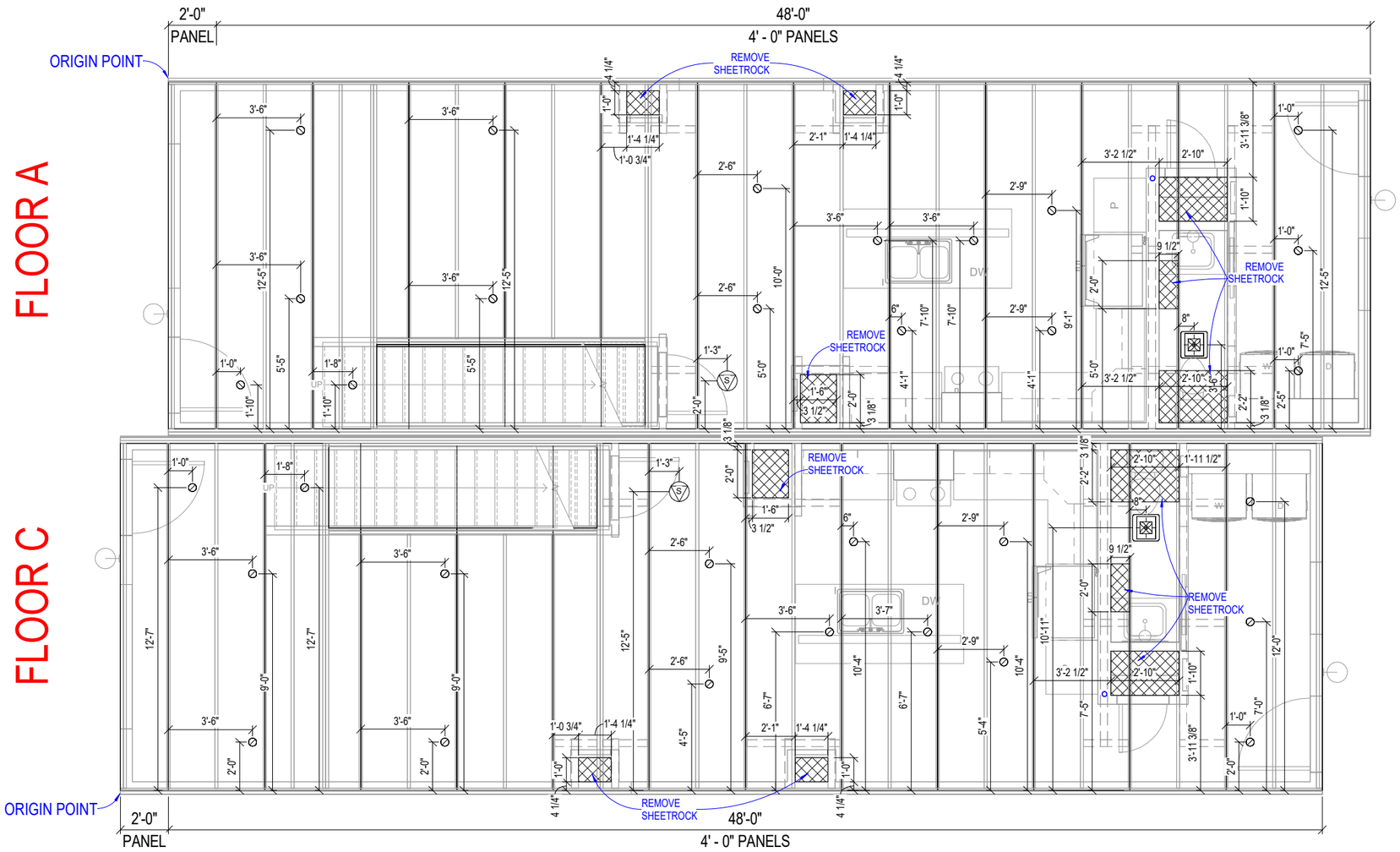
DRAWING TITLE 2ND FLR ROOF FRAMING PLAN

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

DWG No. 12A

2/21/2025 11:58:13 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



1/13 OVERALL CEILING PLAN 1ST FLOOR

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

REV.	DATE	DRN BY	DESCRIPTION
A	8/26/24	KSE	PRELIMINARY ISSUE

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF LOAD: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

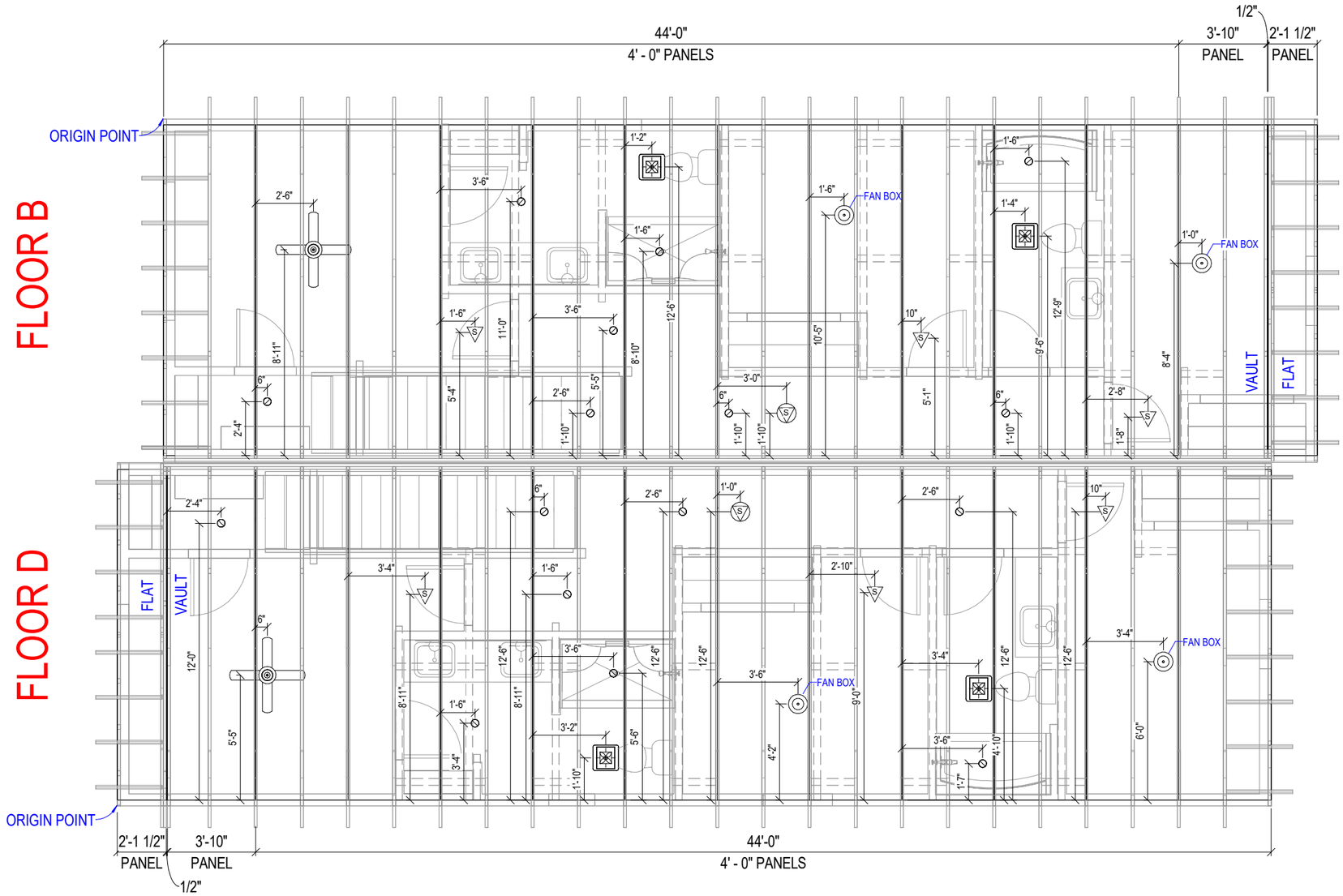
DRAWING TITLE 1ST FLR OVERALL CEILING PLAN

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

DWG No. 13

2/21/2025 11:58:14 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



1/13A OVERALL CEILING PLAN 2ND FLOOR

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

REV.	DATE	DRN BY	DESCRIPTION

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF LOAD: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

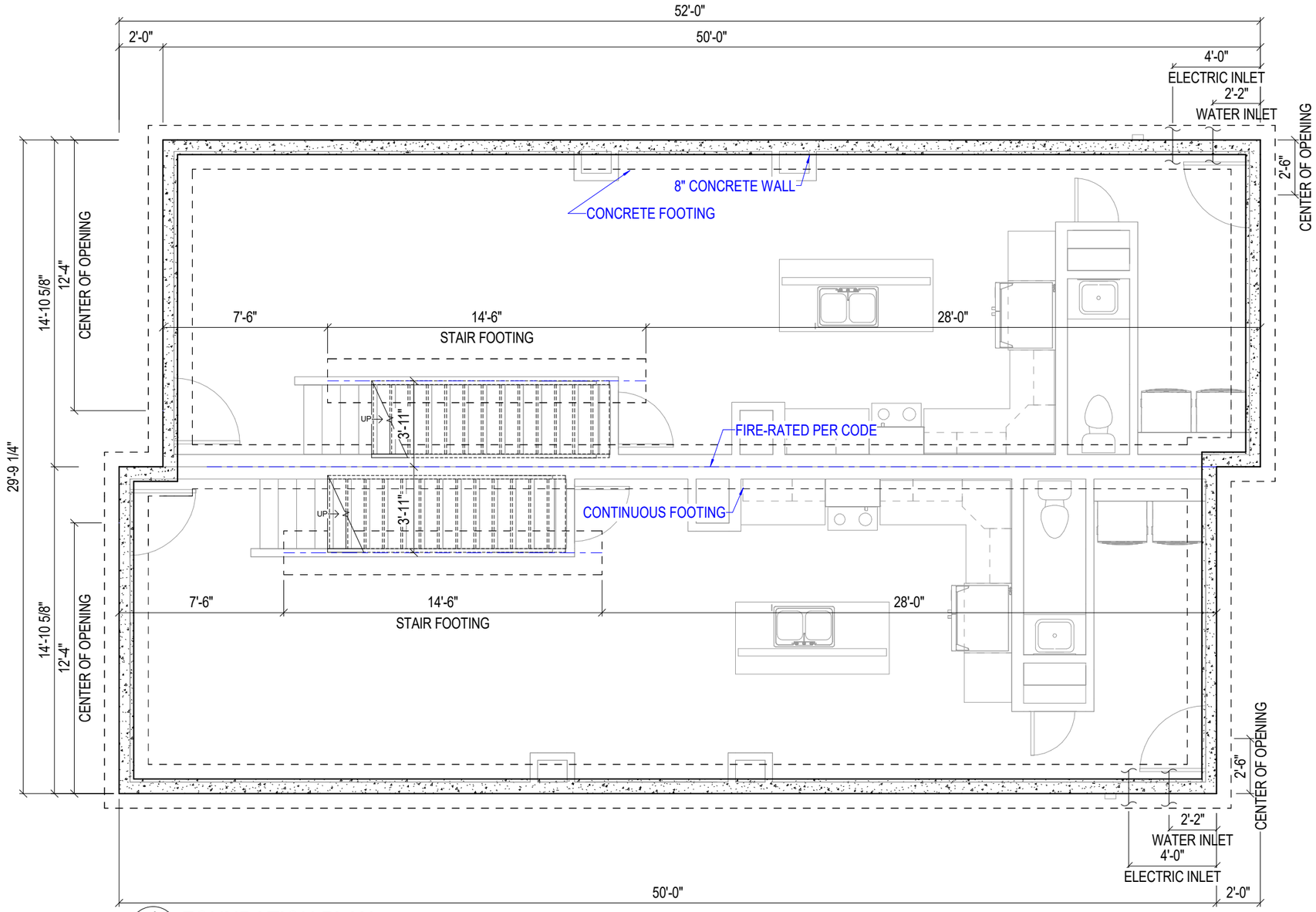
DRAWING TITLE 2ND FLR OVERALL CEILING PLAN

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

DWG No. 13A

2/21/2025 11:58:15 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



1/14 FOUNDATION PLAN

SCALE (22x34): 3/8" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

FOUNDATION NOTES:

1. FOUNDATION, FOOTINGS, AND/OR PIERS DESIGNED TO THE FOLLOWING LOADING CRITERIA:
   a. FLOOR 40 PSF LL, 15 PSF DL
   b. WALL 5 PLF DL
   c. ROOF 45 PSF LL, 15 PSF DL
2. FOR CRAWLSPACE APPLICATION, THE MINIMUM NET AREA OF VENTILATION OPENINGS FOR UNDER-FLOOR VENTILATION SHALL MEET THE MINIMUM REQUIREMENTS OF THE APPLICABLE BUILDING CODES (OR LOCAL REQUIREMENTS IF MORE STRINGENT).
3. FOUNDATION ACCESS SHALL BE DETERMINED, LOCATED, VERIFIED, AND INSTALLED IN FIELD, BY OTHERS TO THE APPLICABLE BUILDING CODES.
4. THE RIM JOIST ALONG THE MARRIAGE LINE CONSISTS OF 1-1/2" x 11-7/8" LAMINATED BEAMS. PROVIDE SUPPORTS PIERS ALONG THE MARRIAGE LINE 2-3/4" SHORTER THAN PERIMETER SUPPORTS. (NOT APPLICABLE WITH TRUSS FLOOR SYSTEMS)
5. THE HOME SHALL BE GROUNDED AS DEFINED IN ARTICLE 250, SECTION III, OF THE 2017 NATIONAL ELECTRICAL CODE AS PART OF THOSE REQUIREMENTS, A FOOTING/FOUNDATION REBAR SHALL BE LEFT EXPOSED SO A CONNECTION CAN BE MADE WITH THE BUILDING STRUCTURE, AS DEFINED IN NEC ARTICLE 250, SECTION III, PART 50.
6. BONNAVILLA HOMES SHALL NOT BE IN ANY WAY RESPONSIBLE FOR THE QUALITY OF THE QUANTITY OF MATERIALS USED (OR NOT USED)
7. IN THE FABRICATION AND FINAL CONSTRUCTION OF THIS FOUNDATION, BONNAVILLA HOMES SHALL NOT BE RESPONSIBLE FOR ANY STANDARDS OF WORKMANSHIP.
8. WHERE REPRESENTATIVES AND/OR DEALERS OF BONNAVILLA HOMES ARE ACTING AS INDEPENDENT CONTRACTORS, THEY DO SO AS THEIR OWN REPRESENTATIVE.
9. IT IS THE RESPONSIBILITY OF THE HOMEOWNER AND/OR FOUNDATION CONTRACTOR TO MEET ALL ELECTRICAL, MECHANICAL, ENERGY, AND BUILDING CODES WHICH MAY APPLY TO THIS FOUNDATION PLAN.
10. CRAWLSPACE FOUNDATIONS REQUIRE AN ACCESS MEETING THE REQUIREMENTS OF THE IBC SECTION R408 ACCESS OPENING TO BE 16" x 24". WHEN ACCESS IS LOCATED BELOW GRADE, AN AREAWAY OF 16" x 24" SHALL BE PROVIDED DIRECTLY IN FRONT OF THE ACCESS. AREAWAY SHALL BEGIN BELOW THE LEVEL OF THE CRAWLSPACE ACCESS. ACCESSES SHALL NOT BE LOCATED BENEATH A DOOR OF THE UPPER STORY.
11. FOUNDATION ACCESS SHALL BE DETERMINED, LOCATED, VERIFIED, AND INSTALLED IN FIELD, BY OTHER
12. VERIFY LOCATION, SIZE, AND QUALITY OF EXTERIOR WINDOWS.
13. FOOTINGS WIDTH AND DEPTH - FOOTINGS ARE TO BE CALCULATED BY AN ARCHITECT OR ENGINEER BASED ON HOME DESIGN. TYPICAL SPECIFICATIONS FOR PERIMETER FOOTINGS IS 16" x 8". CENTERLINE FOOTING DIMENSION IS 16" WIDE AND 8" DEEP. THESE DIMENSIONS ARE TYPICAL AND ARE AFFECTED BY SOIL TYPE, SOIL COMPACTION, SPECIAL LOADS, ETC.
14. ADJUSTABLE COLUMN SUPPORTS MAY BE REPLACED WITH CONTINUOUS BEARING WALL (MINIMUM REQUIREMENTS FOR WALL WILL BE DOUBLE 2 x 4 TOP PLATE, SINGLE 2 x 4 BOTTOM PLATE AND DOUBLE 2 x 4 STUDS @ 16" O.C. OR DOUBLE 2 x 6 TOP PLATE, SINGLE 2 x 6 BOTTOM PLATE AND SINGLE 2 x 6 STUDS @ 16' O.C.
15. FOUNDATION ENGINEER TO PROVIDE LOAD PATH FOR UPLIFT FORCES FROM SHEARWALLS TO FOUNDATION (i.e. HOLDOWNS, STRAPPING, ETC.). SUGGESTED DESIGN LOADS TO BE EQUAL TO CAPACITY OF HOLDOWN. (i.e. SIMPSON LSTHD8RJ = 3115# UPLIFT).
16. THE RIM JOIST ALONG THE MARRIAGE LINE CONSISTS OF 1-1/2" x 11-7/8" LAMINATED BEAMS. PROVIDE SUPPORTS PIERS ALONG THE MARRIAGE LINE 2-3/4" SHORTER THAN PERIMETER SUPPORTS. (NOT APPLICABLE WITH TRUSS FLOOR SYSTEMS)
17. **NOTE: ***THE POINT LOADS THAT ARE SHOWN ON THIS FOUNDATION DRAWING ARE ESTIMATED VALUES. THESE VALUES COULD CHANGE WHEN THE HOME IS ENGINEERED. THESE ESTIMATED VALUES SHOULD NOT BE USED TO SIZE FOOTINGS. THE COMPLETE FOUNDATION DESIGN IS NOT THE RESPONSIBILITY OF BONNAVILLA HOMES.*****

REV.	DATE	DRN BY	DESCRIPTION
A	8/26/24	KSE	PRELIMINARY ISSUE

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

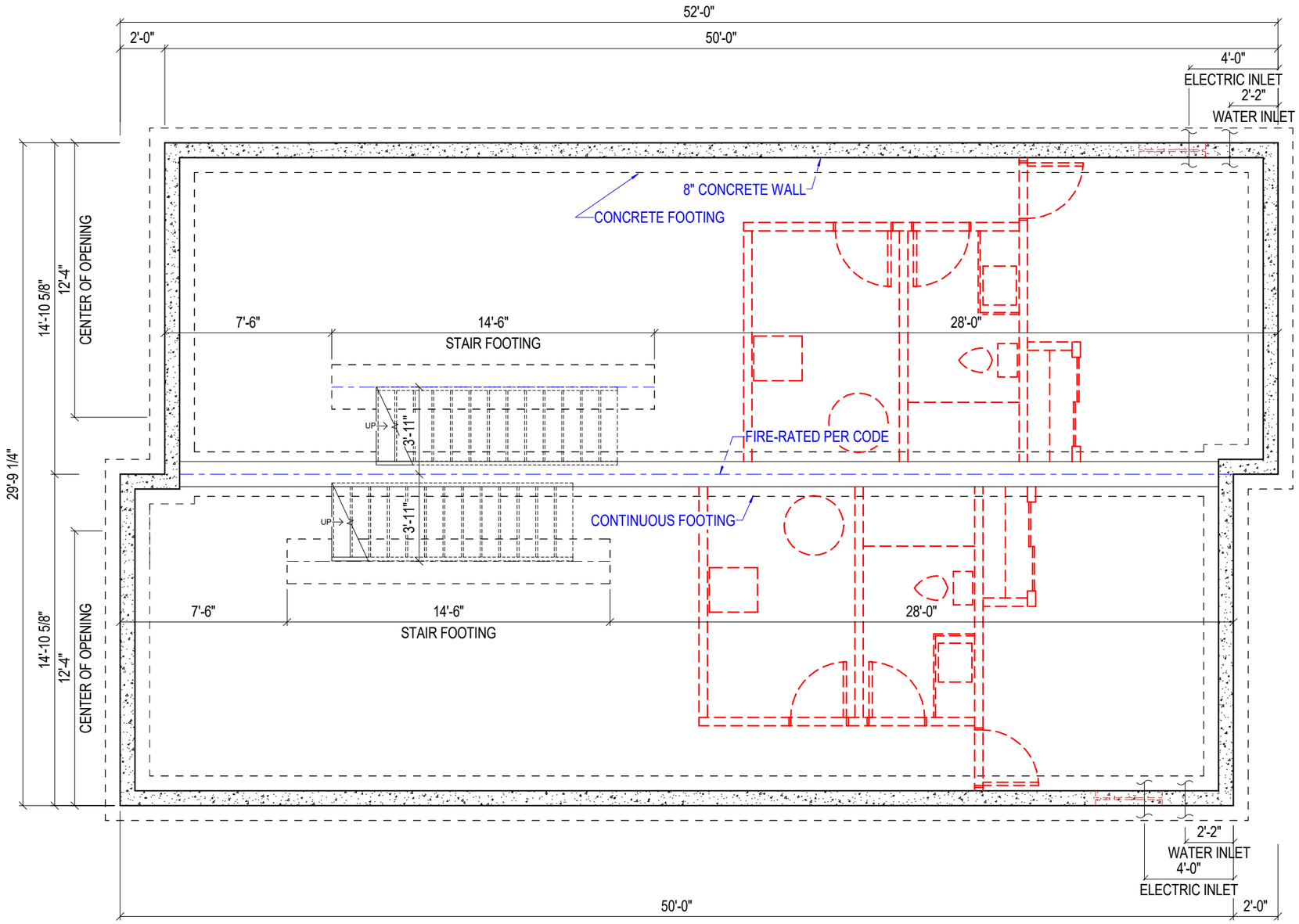
DRAWING TITLE FOUNDATION PLAN

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

DWG No. 14

2/21/2025 11:58:16 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



1 BASEMENT LAYOUT

REV.	DATE	DRN BY	DESCRIPTION

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF LOAD: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

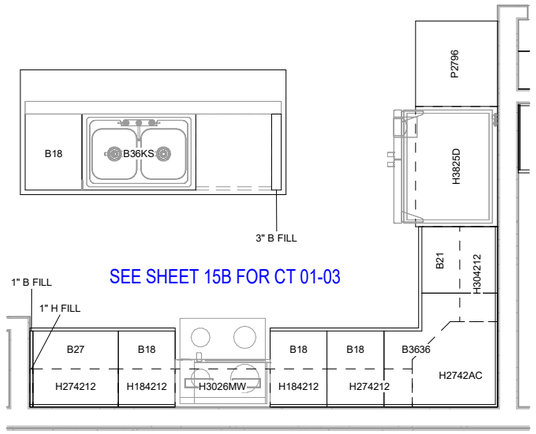
DRAWING TITLE BASEMENT LAYOUT

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

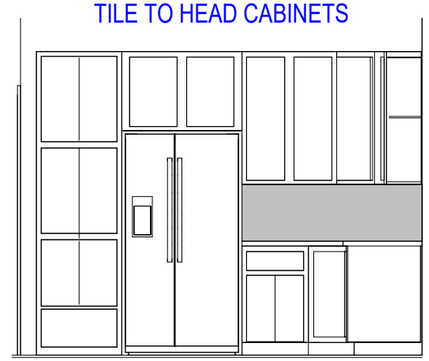
DWG No. 14A

2/21/2025 11:58:16 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



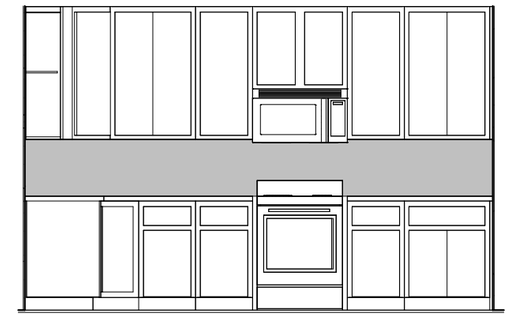
1 KITCHEN

TILE TO HEAD CABINETS



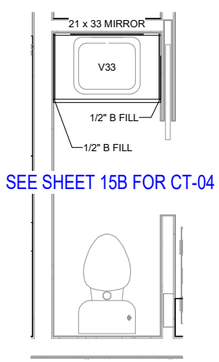
1A KITCHEN

TILE TO HEAD CABINETS

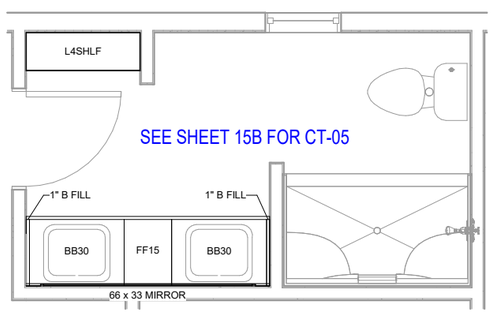


1B KITCHEN

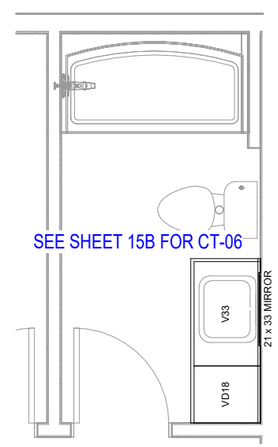
QUARTZ COUNTERTOPS
THRU OUT



2 HALF BATH



3 MASTER BATH



4 MAIN BATH

CABINET SCHEDULE - KITCHEN (1)													
		DOOR							DRAWER				
QTY	CABINET	9 3/4"x27	9x21	12x21	12x27	12x39	15x21	15x39	15x6	18x6	24x6	24x12	Comments
1	1" B FILL												
1	1" H FILL												
1	3" B FILL												
4	B18						1		1				
1	B21		2							1			
1	B27			2							1		
1	B36KS						2		2				
1	B3636	2											
1	H2742AC							1					
1	H3026MW			2									
1	H3825D						2						
2	H184212							1					
2	H274212					2							
1	H304212					2							
1	P2796			2	4							1	

CABINET SCHEDULE - HALF BATH (1)			
		DOOR	
QTY	CABINET	15x21	Comments
2	1/2" B FILL		
1	21 x 33 MIRROR		
1	V33	2	

CABINET SCHEDULE - MASTER BATH (1)					
		DOOR	DRAWER		
QTY	CABINET	12x27	12x6	12x12	Comments
2	1" B FILL				
1	66 x 33 MIRROR				
2	BB30	2			
1	FF15		2	1	

CABINET SCHEDULE - MAIN BATH (1)				
		DOOR	DRAWER	
QTY	CABINET	15x21	15x6	Comments
1	21 x 33 MIRROR			
1	V33	2		
1	VD18		3	

CABINET LIST		
QTY	CABINET	Comments
6	1" B FILL	
2	1" H FILL	
4	1/2" B FILL	
2	3" B FILL	
4	21 x 33 MIRROR	
2	66 x 33 MIRROR	
8	B18	
2	B21	
2	B27	
2	B36KS	
2	B3636	
4	BB30	
2	FF15	
2	H2742AC	
2	H3026MW	
2	H3825D	
4	H184212	
4	H274212	
2	H304212	
2	L4SHLF	
2	P2796	
4	V33	
2	VD18	

REV.	DATE	DRN BY	DESCRIPTION
A	8/26/24	KSE	PRELIMINARY ISSUE

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF LOAD: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

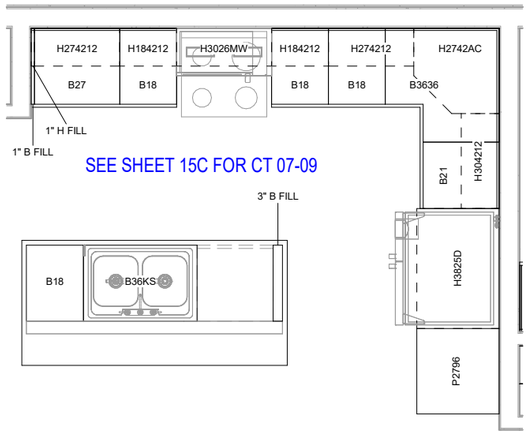
DRAWING TITLE CABINET DETAILS - UNIT 1

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

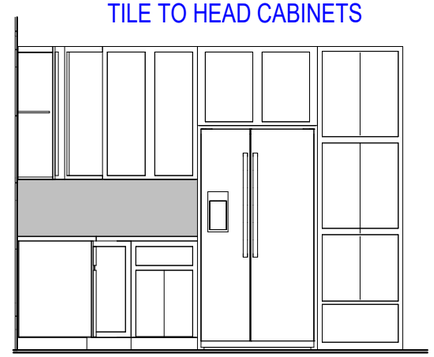
DWG No. 15

2/21/2025 11:58:19 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



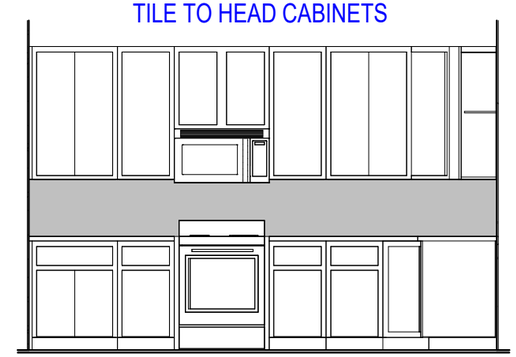
1 KITCHEN

TILE TO HEAD CABINETS



1A KITCHEN

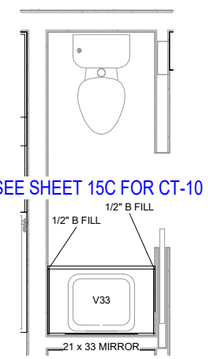
TILE TO HEAD CABINETS



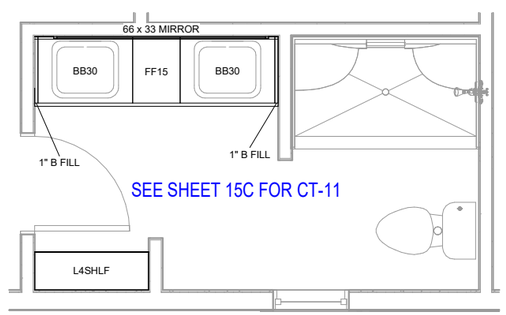
1B KITCHEN

QUARTZ COUNTERTOPS
THRU OUT

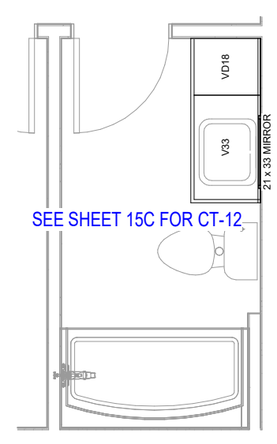
CABINET SCHEDULE - KITCHEN (2)													
		DOOR							DRAWER				
QTY	CABINET	9 3/4"x27	9x21	12x21	12x27	12x39	15x21	15x39	15x6	18x6	24x6	24x12	Comments
1	1" B FILL												
1	1" H FILL												
1	3" B FILL												
4	B18						1		1				
1	B21		2							1			
1	B27			2							1		
1	B36KS						2		2				
1	B3636	2											
1	H2742AC							1					
1	H3026MW			2									
1	H3825D						2						
2	H184212							1					
2	H274212					2							
1	H304212					2							
1	P2796			2	4							1	



2 HALF BATH



3 MASTER BATH



4 MAIN BATH

CABINET SCHEDULE - HALF BATH (2)			
		DOOR	
QTY	CABINET	15x21	Comments
2	1/2" B FILL		
1	21 x 33 MIRROR		
1	V33	2	

CABINET SCHEDULE - MASTER BATH (2)					
		DOOR	DRAWER		
QTY	CABINET	12x27	12x6	12x12	Comments
2	1" B FILL				
1	66 x 33 MIRROR				
2	BB30	2			
1	FF15		2	1	

CABINET SCHEDULE - MAIN BATH (2)				
		DOOR	DRAWER	
QTY	CABINET	15x21	15x6	Comments
1	21 x 33 MIRROR			
1	V33	2		
1	VD18		3	

CABINET LIST		
QTY	CABINET	Comments
6	1" B FILL	
2	1" H FILL	
4	1/2" B FILL	
2	3" B FILL	
4	21 x 33 MIRROR	
2	66 x 33 MIRROR	
8	B18	
2	B21	
2	B27	
2	B36KS	
2	B3636	
4	BB30	
2	FF15	
2	H2742AC	
2	H3026MW	
2	H3825D	
4	H184212	
4	H274212	
2	H304212	
2	L4SHLF	
2	P2796	
4	V33	
2	VD18	

REV.	DATE	DRN BY	DESCRIPTION
A	8/26/24	KSE	PRELIMINARY ISSUE

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

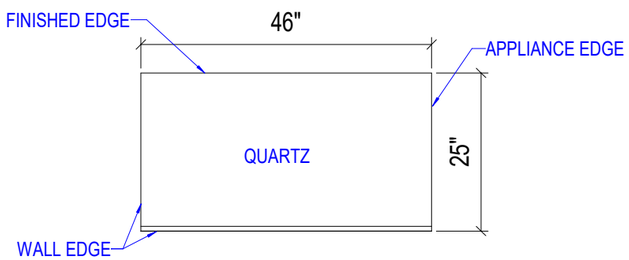
DRAWING TITLE CABINET DETAILS - UNIT 2

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

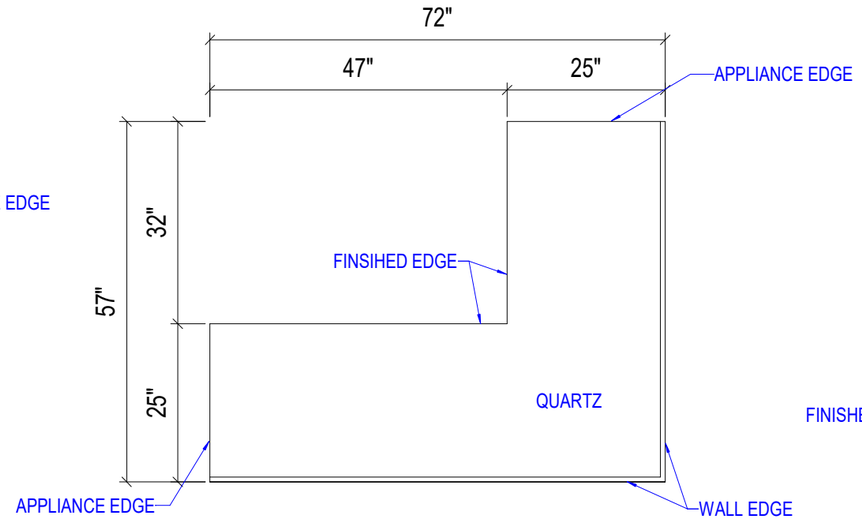
DRN. BY: KSE
DATE: 8/26/24

DWG No. 15A

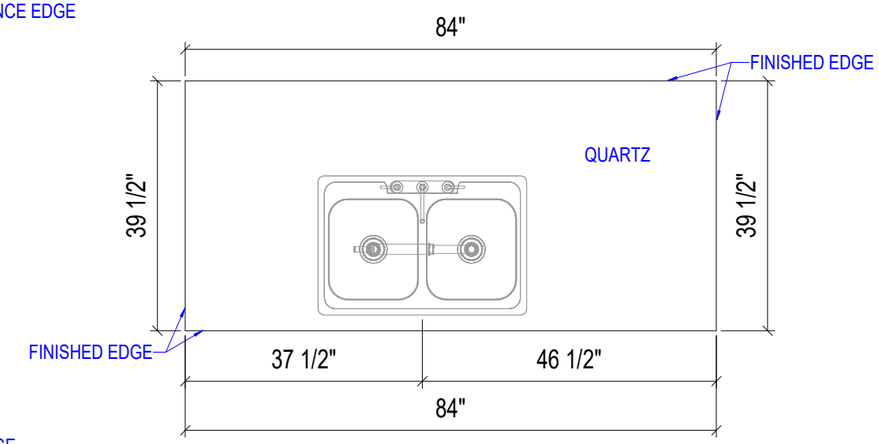
2/21/2025 11:58:22 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



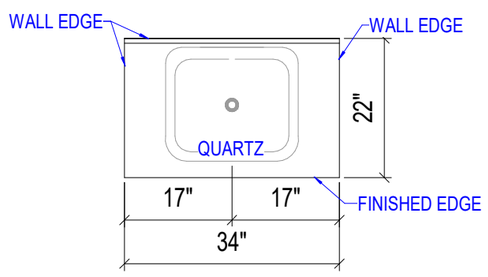
1 CT-01



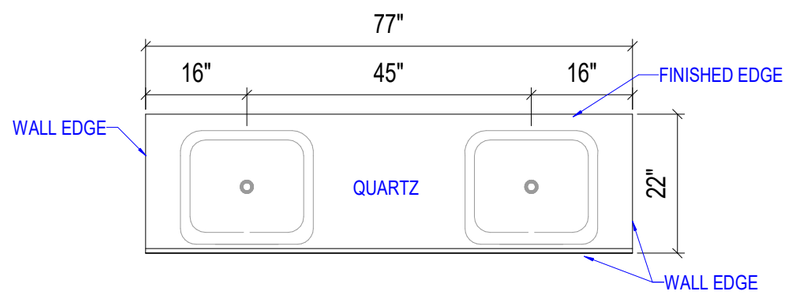
2 CT-02



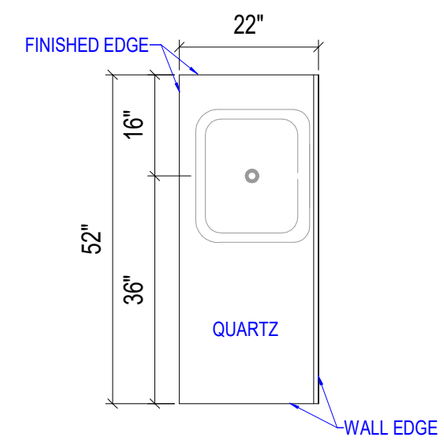
3 CT-03



4 CT-04



5 CT-05



6 CT-06

REV.	DATE	DRN BY	DESCRIPTION

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF LOAD: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

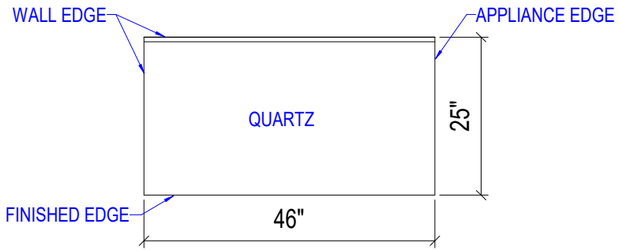
DRAWING TITLE COUNTERTOPS - UNIT 1

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

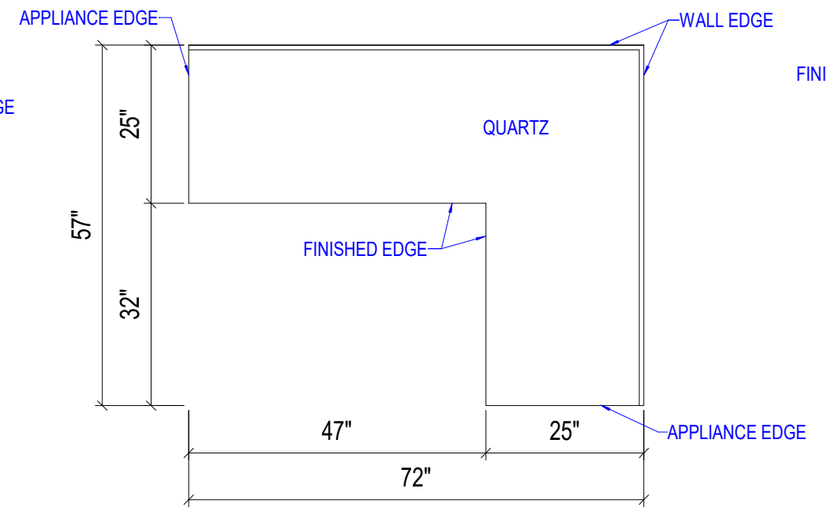
DRN. BY: KSE
DATE: 8/26/24

DWG No. 15B

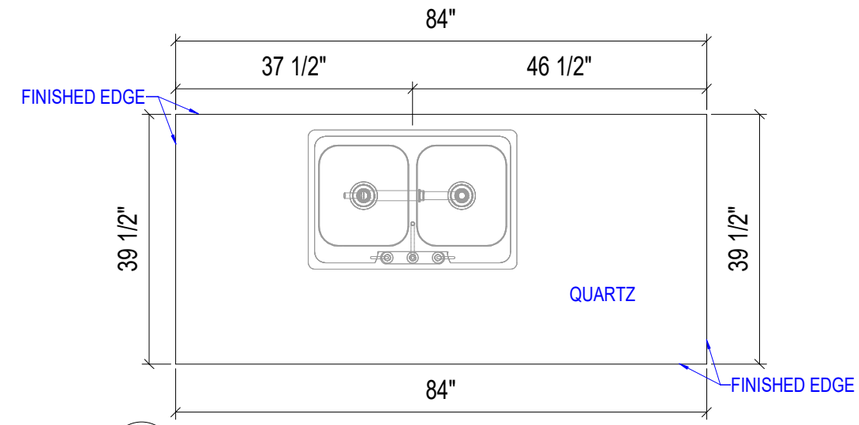
2/21/2025 11:58:22 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



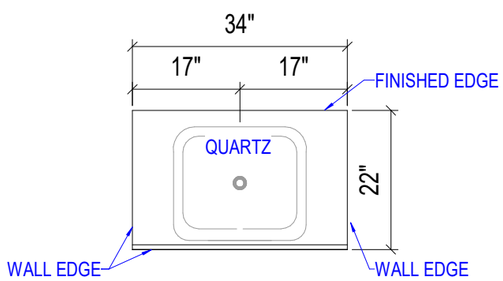
1 CT-07



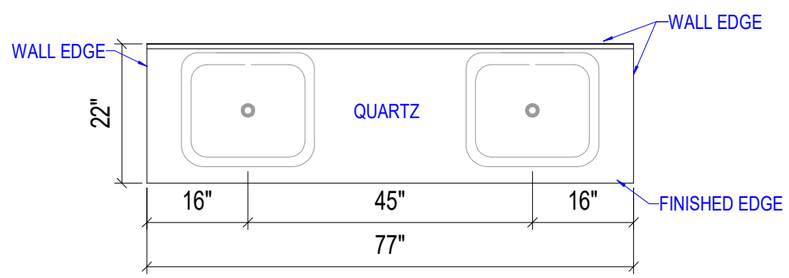
2 CT-08



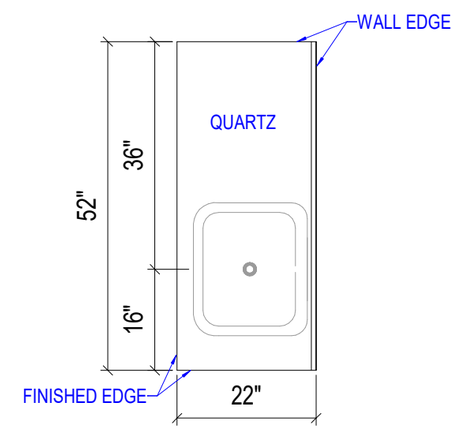
3 CT-09



4 CT-10



5 CT-11



6 CT-12

REV.	DATE	DRN BY	DESCRIPTION

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF LOAD: 40 PSF
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

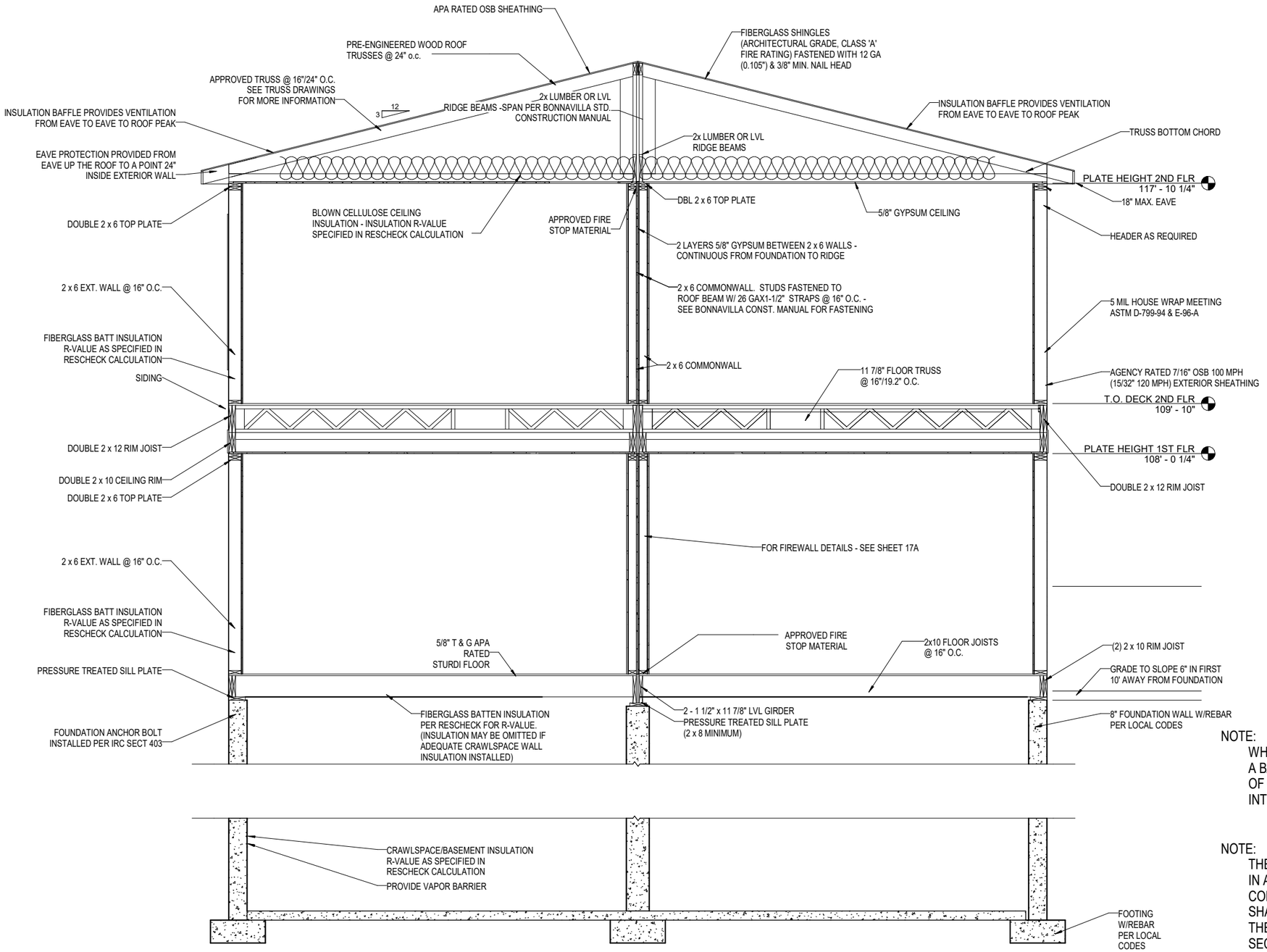
DRAWING TITLE COUNTERTOPS - UNIT 2

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

DWG No. 15C

2/21/2025 11:58:23 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



1/16 BUILDING SECTION

SCALE (22x34): 1/2" = 1'-0"
SCALE (11x17): 3/16" = 1'-0"

NOTE:
WHEN A CRAWLSPACE IS USED IN LIEW OF A BASEMENT FOUNDATION, CONSTRUCTION OF CRAWLSPACE SHALL BE SPECIFIED IN THE INTERNATIONAL RESIDENTIAL CODE CHAPTER 4

NOTE:
THE HOME SHOULD BE GROUNDED AS DEFINED IN ARTICLE 250, SECTION III, OF THE NATIONAL ELECTRICAL CODE. AS PART OF THOSE REQUIREMENTS, A FOOTING REBAR SHALL BE LEFT EXPOSED SO A CONNECTION CAN BE MADE WITH THE BUILDING STRUCTURE, AS DEFINED IN NEC ARTICLE 250, SECTION III, PART 50.

REV.	DATE	DRN BY	DESCRIPTION
A	8/26/24	KSE	PRELIMINARY ISSUE

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF: 40 PSF
ZONE:
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

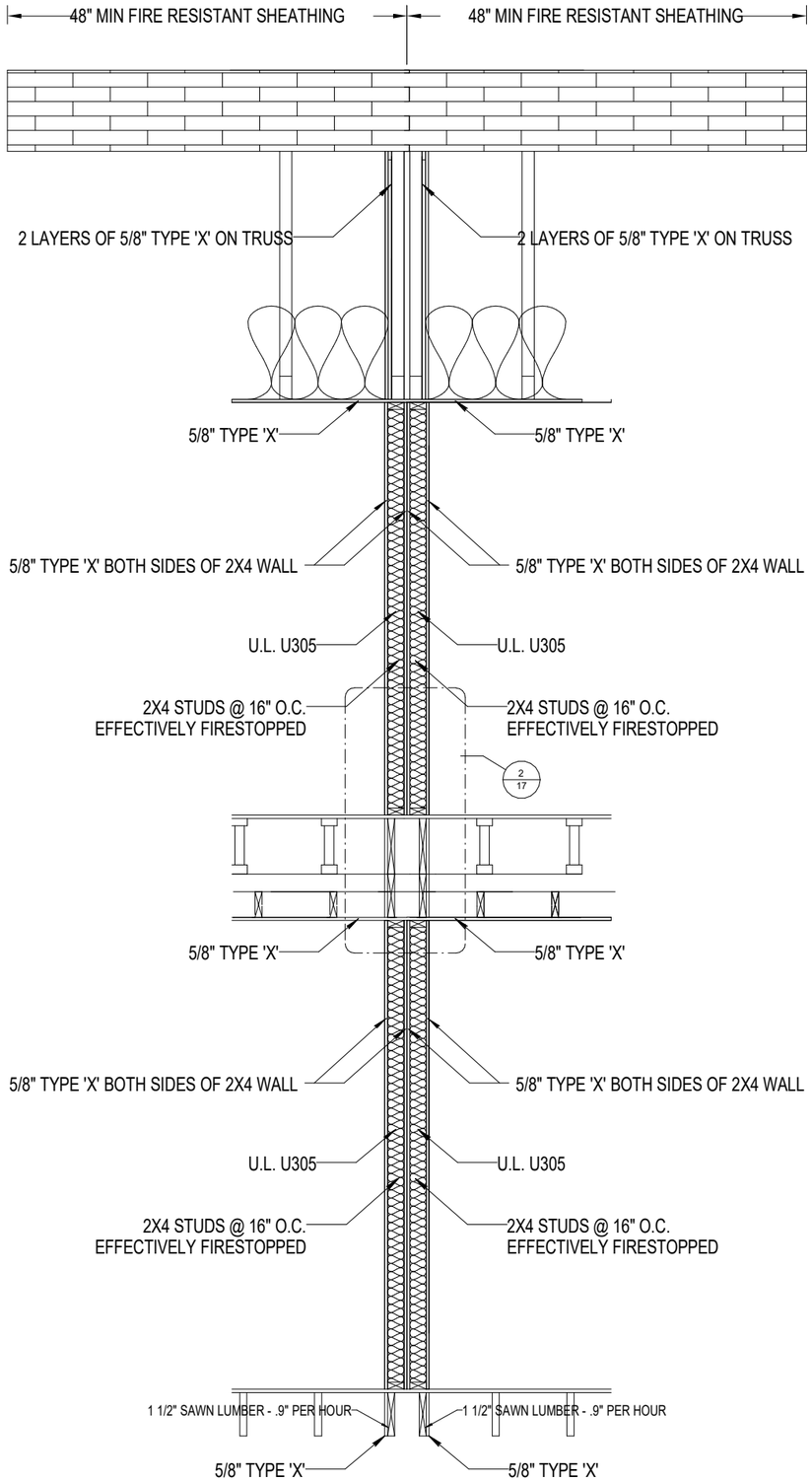
DRAWING TITLE BUILDING SECTION

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

DWG No. 16

2/21/2025 11:58:24 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt



UL DESIGN NO. U305

BEARING WALL RATING- 1 HOUR
(RATED FOR EXPOSURE ON BOTH SIDES)

WOOD STUDS- NOMINAL 2X4 STUDS SPACED AT 16" O.C. MAXIMUM, EFFECTIVELY FIRESTOPPED.

JOINTS- JOINTS COVERED WITH JOINT COMPOUND AND PAPER TAPE. JOINT COMPOUND AND PAPER TAPE MAY BE OMITTED WHEN SQUARE EDGE BOARDS ARE USED.

NAIL HEADS- NAIL HEADS EXPOSED OR COVERED WITH JOINT COMPOUND.

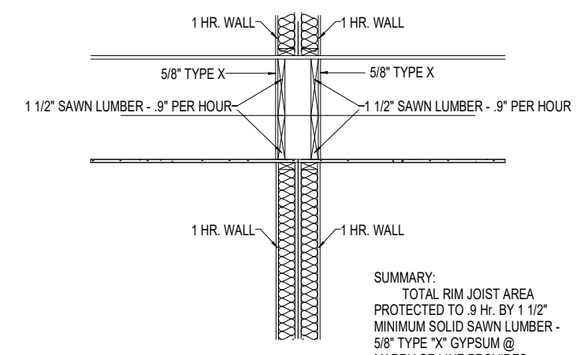
GYPSUM BOARD - 5/8" THICK PAPER OR VINYL SURFACED, WITH BEVELED, SQUARE, OR TAPERED EDGES, APPLIED EITHER HORIZONTALLY OR VERTICALLY. GYPSUM PANELS FASTENED TO FRAMING WITH 1-1/4 IN. LONG TYPE W COARSE THREAD GYPSUM PANEL STEEL SCREWS SPACED A MAX 8" O.C. WITH LAST SCREW 1 IN. FROM END OF BOARD. WHEN USED IN WIDTHS OF OTHER THAN 48"., GYPSUM BOARDS ARE TO BE INSTALLED HORIZONTALLY.

BATTS AND BLANKETS- (OPTIONAL) GLASS FIBER OR MINERAL WOOL INSULATION. PLACED TO COMPLETELY OR PARTIALLY FILL THE STUD CAVITIES.

NON-BEARING WALL PARTITION INTERSECTION - (OPTIONAL) TWO NOMINAL 2X4 STUDS NAILED TOGETHER WITH TWO 3" LONG 10D NAILS SPACED AT 16" O.C. MAXIMUM VERTICALLY. INTERSECTION BETWEEN PARTITION WOOD STUDS TO BE FLUSH WITH THE 2X4 STUDS. THE WALL PARTITION STUDS ARE TO BE FRAMED WITH A SECOND 2 X4 WOOD STUD FASTENED WITH 3" LONG 10D NAILS AT 16" O.C. MAXIMUM VERTICALLY. MAXIMUM ONE NON-BEARING WALL PARTITION INTERSECTION PER STUD CAVITY. NON-BEARING WALL PARTITION STUD DEPTH SHALL BE AT A MINIMUM EQUAL TO THE DEPTH OF THE BEARING WALL.

NOTES:

1. FIRE RESISTIVE RATING CONTINUITY ACHIEVED THROUGH FLOOR ASSEMBLY - 1 1/2" OF SOLID SAWN LUMBER USING AN EFFECTIVE CHAR RATING OF .9"/HOUR



SUMMARY:
TOTAL RIM JOIST AREA PROTECTED TO .9 Hr. BY 1 1/2" MINIMUM SOLID SAWN LUMBER - 5/8" TYPE "X" GYPSUM @ MARRIAGE LINE PROVIDES ADDITIONAL 45 MINUTE PROTECTION

REV.	DATE	DRN BY	DESCRIPTION

CODE: 2018 IRC
FLOOR LOAD: 40 PSF
ROOF: 40 PSF
ZONE:
WIND ZONE: 115 VULT MPH

QUOTE NO: Q00

PID: 7535

CUSTOMER ZONE 4

DEALER BONNAVILLA

SITE ADDRESS HASTINGS, NE

DRAWING TITLE FIREWALL DETAIL

BONNAVILLA
A DIVISION OF CHIEF INDUSTRIES, INC.
111 GRANT STREET
P.O. BOX 127
AURORA, NEBRASKA 68818
www.bonnavilla.com

DRN. BY: KSE
DATE: 8/26/24

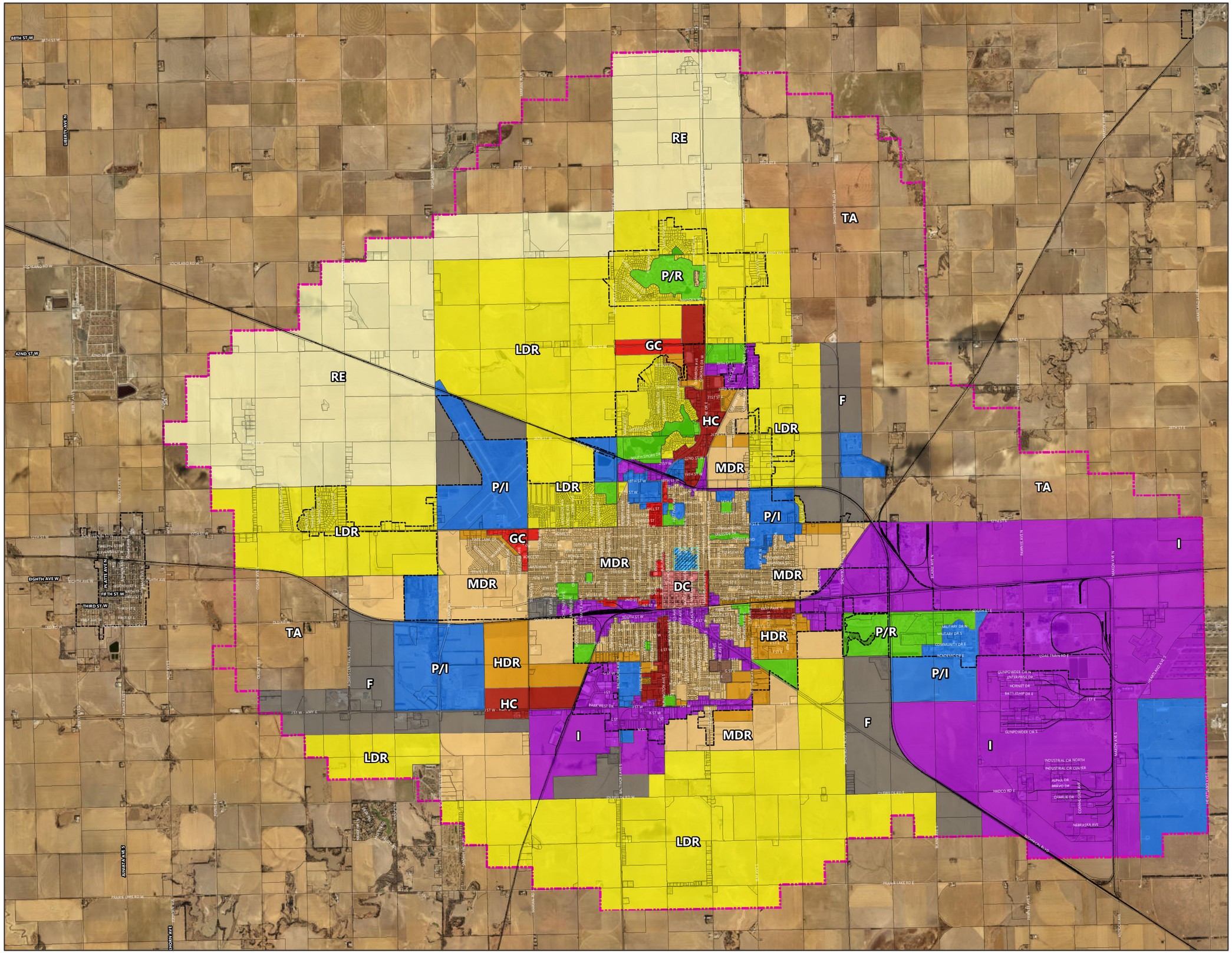
DWG No. 18

2/21/2025 11:58:24 AM T:\2025 Projects\PID7535-ZONE 4-SPEC ALMONT\Local Files\PID7535-ZONE 4-SPEC ALMONT-kottwitzj.rvt

HASTINGS, NEBRASKA

COMPREHENSIVE PLAN

FIGURE 12.3: FUTURE LAND USE



LEGEND

- Railroad
- Parcels
- Hastings 2-Mile ETJ (Current)
- City Limits
- Hospital Environs Overlay (HEO)
- Commercial Corridor (CC)

Land Use District

- Transitional Agriculture (TA)
- Residential Estates (RE)
- Low Residential (LDR)
- Medium Density Residential (MDR)
- High Density Residential (HDR)
- Residential Village Park (RVP)
- Downtown Commercial (DC)
- General Commercial (GC)
- Highway Commercial (HC)
- Industrial (I)
- Flex (F)
- Public/Institutional (P/I)
- Parks/Recreation (P/R)

MARVIN PLANNING CONSULTANTS

Specializing in Municipal, County and Neighborhood Planning

N

PROJECTION: NE State Plane (Ft.)
DATUM: NAD 83
DATE: 7.11.24

0 0.425 0.85 1.7 Miles

HDR - High Density Residential

General Purpose

The High Density Residential land use district includes both existing and new residential neighborhoods with multi-family residential development on moderate to large-sized lots with supporting community facilities. It is intended to encourage creative development patterns. Streets are paved with sidewalks, curb, and gutter. This land use type is ideally located near intersections of arterial streets to act as a buffer between more high intensity uses and lower density residential uses.

Compatible Uses

1. Missing Middle residential development (such as cottage court, townhouses, duplex, fourplex)
2. Multi-family residential development/apartment complexes
3. Residential care facilities
4. Large-scale mixed-use development
5. Public facilities (such as fire stations, public utility substations, community centers, etc.)
6. Religious and Educational uses and structures
7. Renewable Energy facilities, within performance standards

Incompatible Uses

1. Industrial uses
2. Commercial uses, except in large-scale mixed use developments

Issues

1. Off-site impacts - visual, noise odors, runoff
2. Traffic and site access
3. Natural amenities such as trees and waterways
4. Topography and drainage
5. Municipal water and sewer availability
6. Sidewalks and multi-modal accessibility

Special Policies

1. Densities should start at 15 or above dwelling units per acre

Sec. 34-215. - P.D. Planned District regulations.

(1) *Intent.* This district is intended to provide maximum flexibility in the development of property and at the same time to preserve and maintain the character and integrity of adjacent lands. It is an alternative to the base district standards where a plan for development equally or better meets the intent of the district or districts uses, better addresses site specific conditions including transitions to adjacent areas, and better service the public purpose than would otherwise occur under base standards.

(2) *[Planned residential, planned commercial or planned industrial districts.]* Each of the residential, commercial or industrial districts (R-1 to I-2 inclusive) shall have a separate and distinct counterpart, known, and herein referred to as: planned residential, planned commercial or planned industrial district. A planned district shall be for the purpose of permitting and regulating the uses permitted in the equivalent district, except as provided herein, and further, provide for and encourage latitude and flexibility in the location of buildings, structures, roads, drives, variations in yards and open spaces subsequent to a recommendation from the Planning Commission and the approval of the plan by the City Council. The intent is to allow development of tracts of land to their fullest extent, and at the same time observe the general intent and spirit of these regulations. It is anticipated that by presenting a plan for a specific improvement or use, a rezoning request could be recommended, whereas the request would appear too liberal if all permitted uses under such zoning were allowed.

(3) *Planned residential districts.* Planned residential districts may be permitted as follows:

Planned district equivalent district

RP-1 R-1

RP-2 R-2

RP-3 R-3

In general the height and bulk of buildings, setbacks, the amount of light, air and open space, the dwelling unit density, the parking and loading requirements should be equal to those in the equivalent district. The uses permitted shall be the same as in the equivalent district; provided that the applicant, when applying for this zoning classification, may voluntarily limit the plan as to buildings, improvements and the use thereof.

Variations and departures from normal practice may be permitted. Each building need not face on a public street, and more than one building may be located on a lot. Buildings may be constructed on platted tracts which are smaller than the minimum lot size requirements where other adjacent permanent open space is provided. Buildings may be grouped in clusters or around courts and may be served by private drives in lieu of public streets. Buildings may be located closer to lot lines than otherwise permitted, provided such buildings are architecturally suitable for such a relationship to adjoining buildings and property. Any building or portion thereof may be owned in condominium under applicable state laws governing the same.

(4) *Planned commercial and industrial districts.* Planned commercial and industrial districts may be permitted as follows:

Planned district equivalent district

CP-O C-O

CP-1 C-1

CP-2 C-2

CP-3 C-3

IP-1 I-1

IP-2 I-2

In general, the height and bulk of buildings, the amount of light, air and open space, the parking and loading requirements shall be equal to those in the equivalent district; except, that off-street parking and setback requirements in district CP-2 shall be the same as in C-3. The uses permitted and the performance standards shall be the same as in the equivalent district; provided, that the applicant, when applying for this zoning classification, may voluntary limit the plan as to buildings, improvements and the use thereof.

This district may be used to provide for and encourage the grouping of business or residential buildings into centers in keeping with modern concepts of office center, service center, shopping centers and industrial park design. Buildings may be constructed on platted tracts which are smaller than the minimum lot size requirements where other adjacent permanent open space is provided. Buildings may be grouped in clusters or around courts. Buildings may be located closer to lot lines than otherwise permitted, provided such buildings are architecturally suitable for such a relationship to adjoining buildings and property. The further intent and purpose, shall be to reduce the need for strips of commercial development along thoroughfares and to encourage centers and clusters offering the equivalent in goods and services.

(5) *Procedure for rezoning property to a planned district.* A tract of land may be zoned to a district R P-1 through IP-2 inclusive, only upon application by the owner or his agent, and only upon approval of a preliminary development plan for the tract. The proponents of a planned development shall prepare and submit to the Planning Commission, a preliminary development plan.

(6) *Application procedure.*

(a) Applications for a planned district shall be submitted to the Development Services Department Office at least 15 days prior to the next regularly scheduled monthly meeting of the Planning Commission. The application shall be submitted on forms provided by the Department and shall be accompanied by a non-refundable fee in an amount set forth in the Hastings City Council Resolution of fees.

At a minimum, the application shall include, but not be limited to the following:

(i) A narrative statement describing the proposed development, indicating the phases of construction, projected construction starting and completion dates and any other relevant information concerning the development.

(ii) The boundaries of the tract to be developed, and the area adjacent for a distance of not less than 300 feet, indicating the zoning classification of said property and the approximate location of buildings.

(iii) The existing topography of the tract.

(iv) A site plan drawn to a scale of 50 feet to the inch or larger indicating the proposed location and arrangement of buildings, structures, parking areas, existing and proposed streets, drives and other public ways, public property, drainage, screening, landscaping and other features of the proposed development.

(v) Sufficient dimensions to indicate the relationship between buildings, streets, drives and property lines.

(vi) Preliminary elevations and plan drawings of proposed buildings.

(vii) In the case of rezoning applications for purposes of construction centers having an ultimate floor area of 60,000 square feet or more, a market analysis of the City trade area, prepared by competent and experienced analysts, may be required in support of the application. Such analysis shall show plainly and accurately the role that the proposed center will play in the City's retail economy.

The Planning Commission or the Hastings City Council request additional information they deem appropriate to review the application, preliminary or final development plans.

(b) The Planning Commission shall advertise and hold a public hearing on the application and plan, as provided in Section 34-801(2) for any changes, amendments or appeals. The Commission shall recommend approval or denial of the plan and report. At the conclusion of the public hearing, the plan and supporting data shall be sent on to the City Council for action.

(c) After final approval of the preliminary development plan and rezoning of the land by the City Council, the applicant shall prepare final plans for the development. All conditions and revisions to the preliminary plan shall be incorporated into the final plan.

(d) The final plans shall be submitted to the Development Services Department and approved as to compliance with the City Council-approved preliminary plan prior to the issuance of a building permit. No building construction regrading or excavation work is to take place on the site until after the final plans have been approved.

(e) If the Development Services Department disapproves the final plans, the Department's action may be appealed to the Planning Commission, which shall hold a public hearing upon said appeal as provided in subsection (b) above.

(7) *Amendments.* All requests for amendments to any approved plan shall be reviewed by the Planning Commission and approved by the City Council, if found to be consistent with the purposes of this section; provided however, the Planning Director is hereby authorized to approve minor incidental exterior site changes in keeping with the character and intent of the approved planned district development plans. Such administrative approval shall be limited to the following:

(a) Parking lot and landscaping improvements including striping and redesignation of required parking areas.

(b) Within residential, commercial and industrial planned districts, the Planning Director may approve minor revisions to an approved plan including exterior facade changes, building area increases, fences, decks, signs and similar building and site appurtenances providing the character and intent of the original plan approval is preserved and maintained.

An appeal from the Planning Director's denial of a requested minor change may be taken to the Planning Commission. The procedure for such appeals shall be the same as provided for amendments under Section 34-801(2) of this chapter.

(8) *[Administrative authorization.]*The City Engineer and Development Services Director are hereby authorized to administratively approve interior building changes or remodeling within buildings in approved planned districts. Such approval shall be limited to the following:

(a) Interior changes or remodeling within buildings located within approved planned district developments to the extent such changes do not affect any changes in the exterior building dimensions approved by the City Council.

(b) Interior changes intended to accommodate a use not included in the planned district regulations for the property shall not be allowed under this section until first approved by the Hastings City Council under the provisions of this section.

(Ord. No. 3122-6/89, 3585-6/97, 3895-3/2003 and 4233-11/2009; Ord. No. 4630, § 1, 4-13-2020)

Department: Development Services
Staff Contact: Ember Batelaan, Chad Bunger
Planning Commission Meeting Date: 4/15/2025
File No: 2025-135
Prepared By: Chad Bunger, Director of Development Services

AGENDA ITEM SUMMARY SHEET

Description of Item:

Final Plat of the Trailside Subdivision, generally located southeast of the intersection of West Laux Drive and East 31st Street in the City of Hastings, Adams County, Nebraska.

The Final Plat creates 28 residential lots for duplex and tri-plex units and two outlots.

Names of People/Business affected by this action:

The applicant, the City of Hastings and Adams County.

Why Planning Commission action is required:

Neb. Rev. Stat. 19-929 states that the City Council shall not take final action on subdivision development matters without the recommendation of the Planning Commission.

Type of action requested:

Motion

Suggested motion:

Deadlines associated with action:

The item will be heard at the City Council Regular Meeting on May 12, 2025.

Department head comments:

Development Services staff have reviewed this subdivision plat and a complete review of the Final Plat can be found in the attached Staff Report.

Recommendation:

Staff recommends a motion to recommend approval of the Final Plat of the Trailside Subdivision to the City Council with one condition of approval. The condition is:

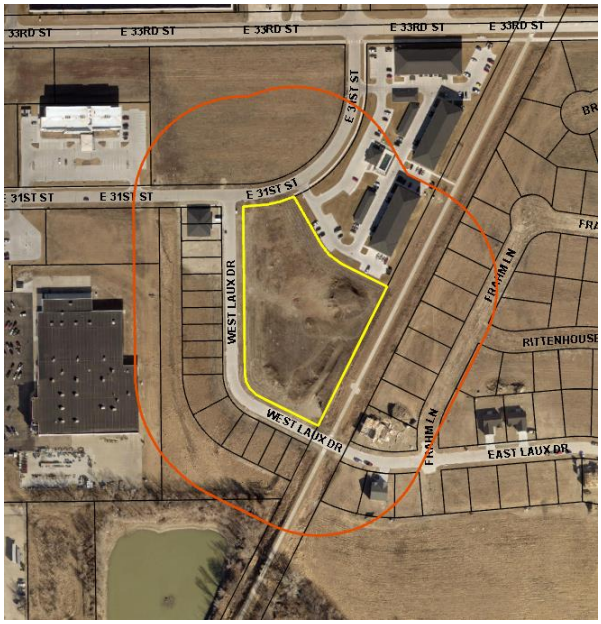
1. The proposed rezoning of the property from R-3, Multiple-Family Residential District to RP-3, Multiple-Family Residential Planned District, must be approved.

City of Hastings Planning Commission

HASTINGS
DEVELOPMENT SERVICES

STAFF REPORT

Final Plat:	**Trailside Subdivision**
Case No.	2025-135
Applicant	Queen City Development, LLC
Property Location:	Generally located to the southeast of the intersection of West Laux Drive and East 31st Street.
Lot Size:	3.63 acres
Date of Planning Commission Meeting:	April 15, 2025
Zoning	R-3, Multiple Family Residential District (Proposed rezoning to RP-3, Multiple Family Residential Planned District)
Adjacent Zoning:	North: C-3, Commercial Business District and R-3, Multiple-Family Residential District
	East: R-1, Urban Single-Family Residential District
	South: R-3, Multiple Family Residential District
	West: R-3, Multiple Family Residential District



SECTION AND REQUIREMENT OF HASTINGS CODE OF ORDINANCE CONSIDERATION OF A FINAL PLAT:

- **Sec. 38-201. – Approval of subdivision plats**
- **Sec. 38-203. – Final Plat:** describes intent and submittal requirements.
- **Chapter 28, Article III. – Planning and Community Design Standards:** describes various plat, lot, and site design requirements.
- **Chapter 28, Article IV. – Engineering and Technical Standards:** describes technical standards of public infrastructure and other improvements.

DESCRIPTION OF FINAL PLAT REQUESTED:

Property Description: The property is generally located southeast of the intersection of West Laux Drive and East 31st Street. The land gently slopes to the south and is not in a mapped floodplain. The land is currently vacant. The property was previously platted as Lot 2 of the Pioneer Trail Flats Subdivision in 2018.

Final Plat Design:

The Final Plat creates 28 lots to be developed for the duplex and tri-plex units and two outlots. Lots 17 – 19 and Lots 24 – 26 will be for the tri-plex buildings. All other lots are intended for duplex buildings. Additionally, the plat dedicates road right-of-way for Trailside Drive and public alleys. Trailside Drive will provide access to the parking areas for Lots 17-28. The public alleys will provide legal access to the units on Lots 17 – 28. The needed utility easements are to be dedicated with the Final Plat. Fire access will be provided as shown on the Final Plat. The developer and neighboring property owner are working on an agreement to provide emergency access through the property to the north.

CONSIDERATIONS OF THE FINAL PLAT:

Subsection 38-201(1). – Approval of subdivision plats states, "No plat of or instruments effecting the subdivision of real property shall be recorded or have any force and effect unless the same be approved by the City Council, subject however, to the exceptions set forth in Section 34-106 of this code. The City Council shall hold no public meeting, nor take any action upon any plat or instrument effecting a subdivision until it has received the recommendation of the Hastings Planning Commission."

City staff reviewed the following topics to ensure that the proposed final plat conforms to the minimum standards of Chapter 28, Article III. – Planning and Community Design Standards and Chapter 38, Article IV. – Engineering and Technical Standards and to provide a recommendation to the City of Hastings Planning Commission and the Hastings City Council.

STAFF COMMENTS: Staff recommends that the Planning Commission recommend **APPROVAL** of the **FINAL PLAT of the Trailside Subdivision**, with the following conditions of approval:

1. The proposed rezoning of the property from R-3, Multiple Family Residential District to RP-3, Multiple Family Residential Planned District, must be approved.

PREPARED BY: Ember Batelaan, City Planner

DATE: April 7, 2025

ATTACHMENTS:

1. Final Plat of Trailside Subdivision

March 21, 2025

QUEEN CITY
development

Mr. Chad Bunger
Director of Development Services
City of Hastings
3505 Yost Avenue
Hastings, NE 68901

RE: Trailside Village Planned District

Mr. Bunger:

Thank you for your consideration of Trailside Village LLC's proposal to change the zoning designation of parcel 010018935 from R-3 Residential to RP-3, Multiple Family Residential (Planned District).

The existing parcel at E 31st Street and West Laux Drive is currently an undeveloped lot, intended for residential development by its current owner, the Hastings Economic Development Corporation. Pending approval of this zoning change, Trailside Village LLC would close on acquisition of the property and develop the site into semi-detached residential housing.

The site sits in a transitional area between high density multi-family apartments, semi-detached residential housing, and single family residential housing. The Planned District designation is required to allow smaller setbacks and greater lot coverage than is typically required for a residential use in order to bring density to the site and help to achieve a greater level of affordability for the development.

The Trailside Village is a pilot project, intended to innovatively address Nebraska's need for affordable housing. The build-to-rent community is intended to uniquely leverage the strengths and motivations of a progressive community, a leader in the manufactured housing industry, local development and construction expertise, and impact investing.

Duplex and triplex units will be developed as semi-detached single-family housing, allowing the housing units to be initially leased and ultimately sold to single family home buyers. This business model strategy encourages the development of a high quality, highly desirable, enduring housing development, that will create a positive community impact and will ultimately allow the opportunity for individuals and families to build equity and contribute to the strengthening of their community.

Each individual housing unit will be approximately 2,150 square feet, with 3 bedrooms, 2.5 bathrooms, and a full unfinished basement with an egress window and rough ins for future utility service and occupancy. The objective of the development is to lease the units, working to address "missing middle" housing, as well as to meet the housing demand of area employers looking to attract new people to Hastings.

In order to reach a level of affordability, density must be optimized on the site. That said, while many people are looking to rent housing in Hastings, not everyone desires to live in an apartment. Targeting semi-detached residential is consistent with neighboring properties to the south and west and works to enhance the overall health and housing offerings of Hastings.

The primary concerns have been the optimization of density to drive affordability, respect, spacing, and safety for the overall development, the optimization of common shared green spaces as an amenity for the development, and the ability to ultimately convert the units to owner-occupied housing in the future.

Specific deviations from standard R-3 zoning requirements that would be needed in this Planned District are as follows:

R-3 Requirements:
Front yard – 25 ft Proposed:
Setback is 11 ft.

Side yard – 10% (7 ft min, 25 ft max req)
Proposed: Setback is 8 ft.

Rear yard – 20% (up to 30')
Proposed: Setback is 32-34 ft.

Max lot coverage 50%
Proposed: Less than 50%. Extensive common green space also exists on the site.

Site plans, architectural plans, and design renderings of the intended project are attached for your use. The developer intends to begin work in May of this year and anticipates substantial completion by December, 2025

Thank you for your thoughtful consideration.

Respectfully submitted,

DAVE RIPPE
Owner

Queen City Development Company
701 W 1st Street
Hastings, NE 68901

FINAL PLAT

TRAILSIDE SUBDIVISION

A REPLAT OF ALL OF LOT 2, PIONEER TRAIL FLATS SUBDIVISION IN THE CITY OF HASTINGS, ADAMS COUNTY, NEBRASKA, SAID PLAT TO BE HEREAFTER KNOWN AS "TRAILSIDE SUBDIVISION"

OWNER
TRAILSIDE VILLAGE, LLC

ENGINEER/LAND SURVEYOR
OLSSON INC.
201 EAST 2ND ST.
GRAND ISLAND, NE 68801

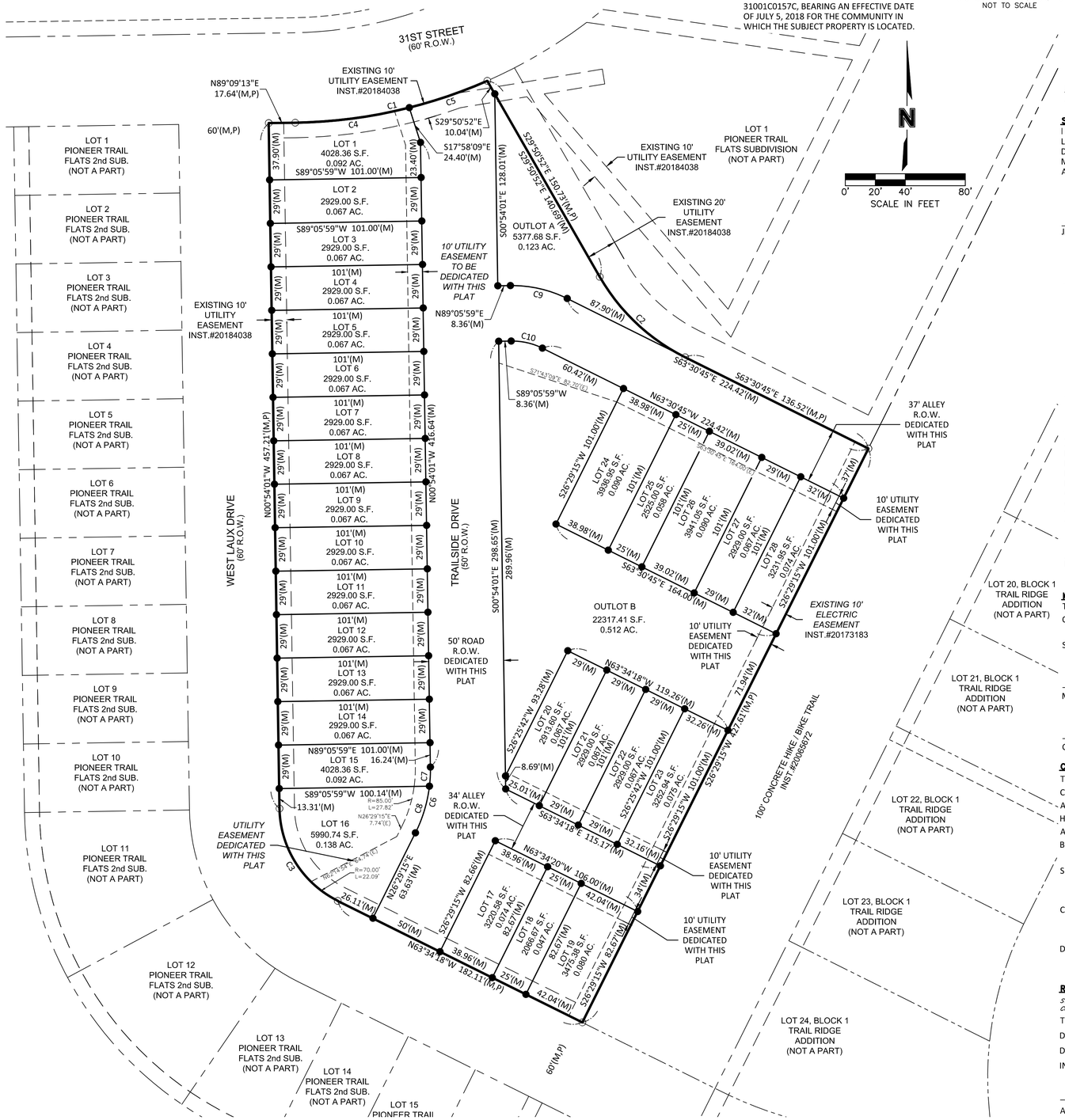
FLOODPLAIN
SUBJECT PROPERTY DOES NOT FALL BETWEEN THE CONFINES OF THE SPECIAL FLOOD HAZARD AREAS AS SHOWN ON THE FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 31001C0157C, BEARING AN EFFECTIVE DATE OF JULY 5, 2018 FOR THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS LOCATED.

VICINITY MAP
FRACTIONAL SEC. 31, T8N, R9W
NOT TO SCALE

LEGEND

- ● SET CORNER (5/8"x24" REBAR W/CAP)
- ○ FOUND CORNER (5/8" REBAR W/CAP)
- EXISTING PROPERTY LINE
- NEW SUBDIVISION LINE
- NEW PROPERTY LINE
- NEW EASEMENT LINE
- EXISTING EASEMENT LINE
- M MEASURED DISTANCE
- P PLATTED DISTANCE PIONEER TRAIL FLATS SUB
- E EASEMENT DISTANCE

CURVE TABLE					
CURVE ID	RADIUS (FT)	DELTA	LENGTH (FT)	CHORD BEARING	CHORD LENGTH (FT)
C1	330.00 (M,P)	22°54'47"	131.97 (M,P)	N77°41'50"E	131.09 (M,P)
C2	135.00 (M,P)	33°39'53"	79.32 (M,P)	S46°40'48"E	78.18 (M,P)
C3	70.00 (M,P)	62°40'17"	76.57 (M,P)	N32°14'09"W	72.81 (M,P)
C4	330.00 (M)	13°20'56"	76.88 (M)	N82°28'45"E	76.71 (M)
C5	330.00 (M)	9°33'50"	55.08 (M)	N71°01'21"E	55.02 (M)
C6	95.00 (M)	27°23'15"	45.41 (M)	N12°47'37"E	44.98 (M)
C7	95.00 (M)	7°43'08"	12.80 (M)	S02°57'33"W	12.79 (M)
C8	95.00 (M)	19°40'07"	32.61 (M)	S16°39'11"W	32.45 (M)
C9	82.00 (M)	27°23'16"	39.20 (M)	S77°12'23"E	38.82 (M)
C10	45.00 (M)	27°23'16"	21.51 (M)	N77°12'23"W	21.31 (M)



LEGAL DESCRIPTION
A REPLAT OF ALL OF LOT 2, PIONEER TRAIL FLATS SUBDIVISION IN THE CITY OF HASTINGS, ADAMS COUNTY, NEBRASKA.

SURVEYOR'S CERTIFICATE
I HEREBY CERTIFY THAT ON _____, 2025, I, JAI JASON ANDRIST, A NEBRASKA PROFESSIONAL LAND SURVEYOR NO. 630, DULY LICENSED UNDER THE LAND SURVEYOR'S REGULATION ACT, DO HEREBY STATE THAT I HAVE PERFORMED A SURVEY OF THE LAND DEPICTED ON THE ACCOMPANYING PLAT; THAT SAID PLAT IS A TRUE DELINEATION OF SAID SURVEY PERFORMED PERSONALLY OR UNDER MY DIRECT SUPERVISION; THAT SAID SURVEY WAS MADE WITH REFERENCE TO KNOWN AND RECORDED MONUMENTS MARKED AS SHOWN, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF IS TRUE, CORRECT AND IN ACCORDANCE WITH THE LAND SURVEYOR'S REGULATION ACT IN EFFECT AT THE TIME OF THIS SURVEY.

_____
JAI JASON ANDRIST, PROFESSIONAL LAND SURVEYOR NUMBER, LS-630

OWNER'S CERTIFICATION
KNOW ALL MEN BY THESE PRESENTS, THAT TRAILSIDE VILLAGE, LLC, A NEBRASKA LIMITED LIABILITY COMPANY, THE OWNER OF RECORD OF THE REAL ESTATE SHOWN ON THE ACCOMPANYING PLAT AND DESCRIBED IN THE LEGAL DESCRIPTION HEREON, HAVE CAUSED THE SAME TO BE SURVEYED, SUBDIVIDED, REPLATTED AND DESIGNATED AS "TRAILSIDE SUBDIVISION", IN THE CITY OF HASTINGS, ADAMS COUNTY, NEBRASKA, AND THAT SAID SURVEYING, SUBDIVIDING, PLATTING AND DESIGNATION WAS DONE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES AND WISHES OF THE UNDERSIGNED OWNER(S). BE IT FURTHER KNOWN, THAT SAID OWNER(S) DOES HEREBY DEDICATE ALL STREETS, ALLEYS AND EASEMENTS SHOWN ON THIS PLAT TO THE CITY OF HASTINGS, ADAMS COUNTY, NEBRASKA.
IN WITNESS WHEREOF, I HAVE AFFIXED MY SIGNATURE HERETO, AT _____, NEBRASKA,

ON THIS _____ DAY OF _____, 2025

_____
DAVE RIPPE, MANAGING MEMBER
TRAILSIDE VILLAGE, LLC

ACKNOWLEDGMENT
STATE OF NEBRASKA SS
COUNTY OF ADAMS
BEFORE ME, A NOTARY PUBLIC, IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED DAVE RIPPE, MANAGING MEMBER, TRAILSIDE VILLAGE, LLC, A NEBRASKA LIMITED LIABILITY COMPANY, KNOWN BY ME TO BE THE IDENTICAL PERSON WHOSE NAME IS AFFIXED ON THE "OWNERS CERTIFICATE" ON THIS PLAT, AND ACKNOWLEDGED THE EXECUTION THEREOF TO BE OF HIS OWN FREE WILL AND ACCORD AS SAID OWNER(S).
WITNESS MY HAND AND NOTARIAL SEAL AT _____, NEBRASKA, ON THIS _____ DAY OF _____, 2025.

_____
NOTARY PUBLIC

MAYOR AND CITY COUNCIL ACTION
THIS PLAT OF "*TRAILSIDE SUBDIVISION*", A SUBDIVISION IN THE CITY OF HASTINGS, ADAMS COUNTY, NEBRASKA, IS HEREBY APPROVED

SIGNED THIS _____ DAY OF _____, 2025

_____
MAYOR

_____
CITY CLERK

CITY PLANNING COMMISSION RECOMMENDATION
THIS PLAT OF "*TRAILSIDE SUBDIVISION*", A SUBDIVISION IN THE CITY OF HASTINGS, ADAMS COUNTY, NEBRASKA, HAS BEEN SUBMITTED TO AND REVIEWED BY THE CITY PLANNING COMMISSION FOR APPROVAL AND IS HEREBY TRANSMITTED TO THE GOVERNING BODY OF THE CITY OF HASTINGS, ADAMS COUNTY, NEBRASKA, WITH THE RECOMMENDATION THAT SAID PLAT BE APPROVED AS PROPOSED

SIGNED THIS _____ DAY OF _____, 2025

CHAIRMAN _____

DIRECTOR _____

REGISTER OF DEEDS CERTIFICATE
STATE OF NEBRASKA SS
COUNTY OF ADAMS
THIS IS TO CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD IN THE REGISTER OF DEEDS OFFICE IN THE ADAMS COUNTY COURTHOUSE IN HASTINGS, NEBRASKA.
DATE: _____ TIME: _____
INSTRUMENT NO. _____

_____
ADAMS COUNTY REGISTER OF DEEDS

WAIVER FOR STREET GRADES
APPLICANT(S) HEREBY WAIVE(S) ANY AND ALL CLAIMS FOR DAMAGES OCCASIONED BY THE ESTABLISHMENT OF GRADES OR THE ALTERATION OF THE SURFACE OF ANY PORTION OF THE STREETS AND ALLEYS TO CONFORM TO SAID GRADES AS ESTABLISHED.
SIGNED THIS ___ DAY OF _____, 2025

_____
DAVE RIPPE, MANAGING MEMBER
TRAILSIDE VILLAGE, LLC

CITY ENGINEER'S APPROVAL
THIS PLAT OF "*TRAILSIDE SUBDIVISION*", A SUBDIVISION IN THE CITY OF HASTINGS, ADAMS COUNTY, NEBRASKA, HAS BEEN RECEIVED AND REVIEWED BY ME AND IS IN COMPLIANCE WITH THE PROVISIONS OF CHAPTER 38 OF THE CITY CODE FOR THE CITY OF HASTINGS, ADAMS COUNTY, NEBRASKA, PROVIDING FOR THE APPROVAL OF SUBDIVISIONS AND PLATS BY THE CITY ENGINEER UNDER CERTAIN CIRCUMSTANCES.
SIGNED THIS _____ DAY OF _____, 2025

_____
LEE VROOMAN, DIRECTOR OF ENGINEERING

CITY TREASURER CERTIFICATE
I HEREBY CERTIFY THAT THE RECORDS OF MY OFFICE SHOW NO TAXES OR SPECIAL ASSESSMENTS DELINQUENT ON THE PROPERTIES DESCRIBED IN THE LEGAL DESCRIPTION ON THE ACCOMPANYING PLAT AS OF THIS _____ DAY OF _____, 2025

_____
CITY OF HASTINGS TREASURER

COUNTY TREASURER CERTIFICATE
I HEREBY CERTIFY THAT THE RECORDS OF MY OFFICE SHOW NO TAXES ARE DUE OR DELINQUENT UPON THE PROPERTIES DESCRIBED IN THE LEGAL DESCRIPTION ON THE ACCOMPANYING PLAT AS OF THIS _____ DAY OF _____, 2025

_____
ADAMS COUNTY TREASURER

olsson
201 East 2nd Street
Grand Island, NE 68801

olsson.com
TEL 308.384.8750
FAX 308.384.8752

REV. NO.	DATE	DESCRIPTION	BY

REVISIONS

FINAL PLAT

TRAILSIDE SUBDIVISION

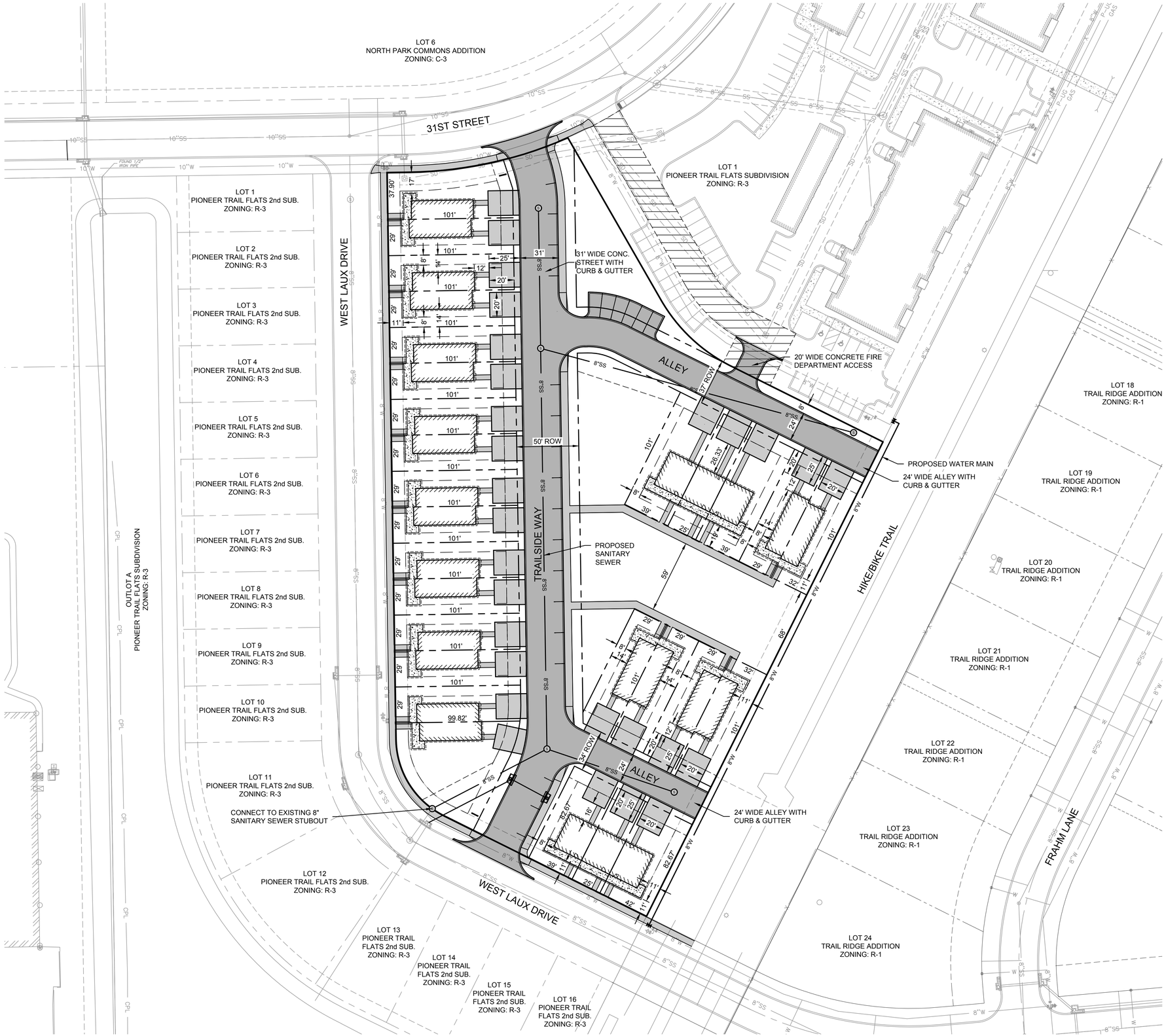
HASTINGS, NEBRASKA

2025

drawn by: JMJ
designed by: LH
project no.: 024-07078
date: 2025-03-28

SHEET
1 of 1

F:\2024\07001-07500\024-07078\40-Design\Survey\SRVY\Sheets\V_FPLAT_02407078.dwg
DATE: Apr 04, 2025 11:12am USER: jjimenez



F:\2024\07001-07500\024-07078\40-Design\AutoCAD\Final Plans\Sheets\SDN\C_SIT01_02407078.dwg
DATE: Mar 13, 2025 4:24pm USER: lhusted

olsson
201 East 2nd Street
Grand Island, NE 68801
olsson.com
TEL 308.384.8750
FAX 308.384.8752
Olsson - Engineering
Nebraska COA #CA-0638

REV. NO.	DATE	DESCRIPTION

REVISIONS

SITE PLAN

TRAILSIDE SUBDIVISION

HASTINGS, NEBRASKA

2025

drawn by: LH
designed by: LH
project no.: 024-07078
date: 03-14-2025

SHEET
1 of 2

F:\2024\07001-075000\024-07078\40-Design\AutoCAD\Final Plans\Sheets\SDNIC_SIT01_02407078.dwg
DATE: Mar 13, 2025 4:25pm USER: lhusted

olsson

201 East 2nd Street
Grand Island, NE 68801

olsson.com
TEL 308.384.8750
FAX 308.384.8752

Olsson - Engineering
Nebraska COA #CA-0638

REVISIONS

REV. NO.	DATE	DESCRIPTION

LOT LAYOUT PLAN

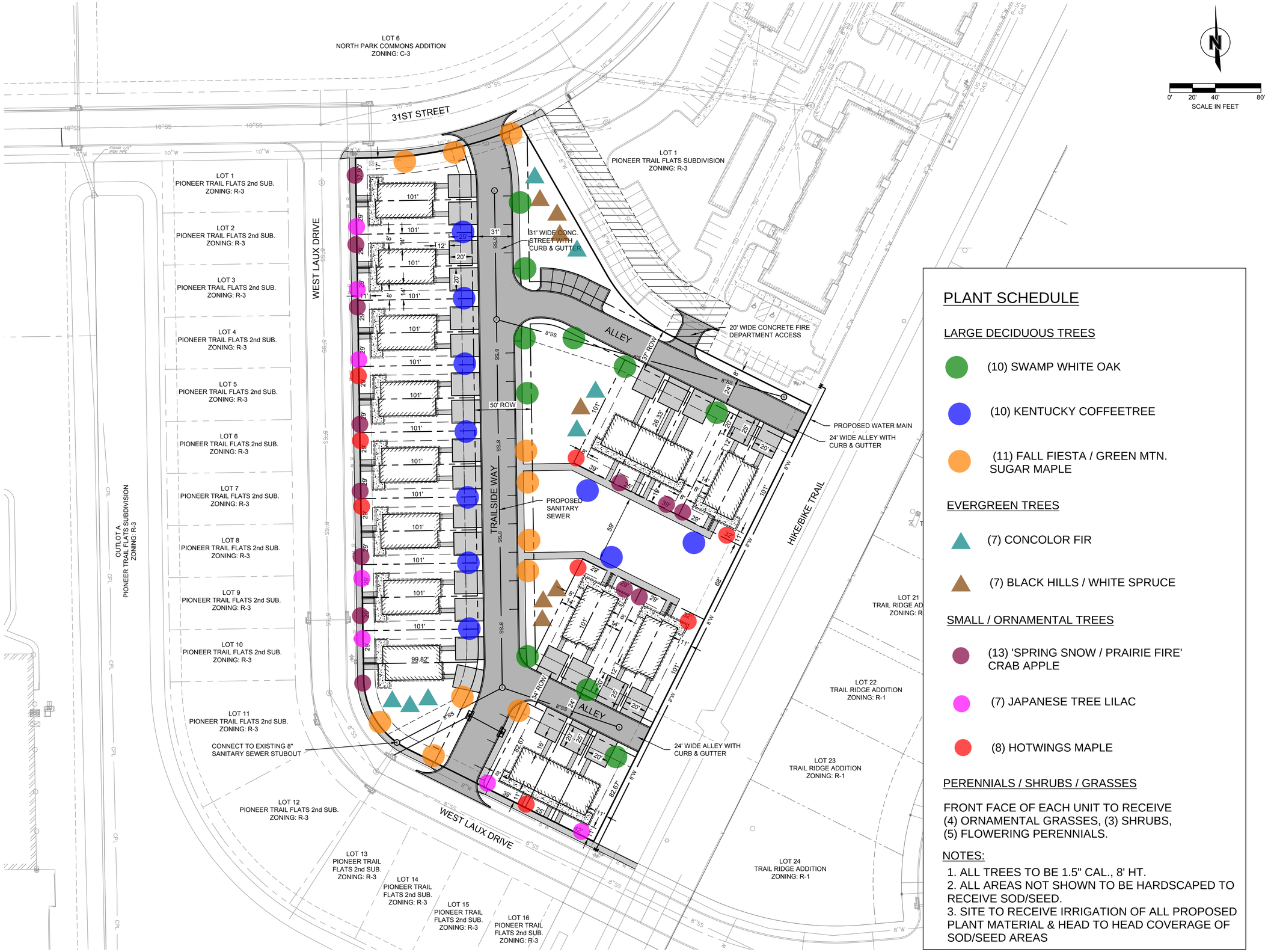
TRAILSIDE SUBDIVISION

HASTINGS, NEBRASKA

2025

drawn by: LH
designed by: LH
project no.: 024-07078
date: 03-14-2025

SHEET
1 of 2



PLANT SCHEDULE

LARGE DECIDUOUS TREES

- (10) SWAMP WHITE OAK
- (10) KENTUCKY COFFEETREE
- (11) FALL FIESTA / GREEN MTN. SUGAR MAPLE

EVERGREEN TREES

- (7) CONCOLOR FIR
- (7) BLACK HILLS / WHITE SPRUCE

SMALL / ORNAMENTAL TREES

- (13) 'SPRING SNOW / PRAIRIE FIRE' CRAB APPLE
- (7) JAPANESE TREE LILAC
- (8) HOTWINGS MAPLE

PERENNIALS / SHRUBS / GRASSES

FRONT FACE OF EACH UNIT TO RECEIVE (4) ORNAMENTAL GRASSES, (3) SHRUBS, (5) FLOWERING PERENNIALS.

NOTES:

1. ALL TREES TO BE 1.5" CAL., 8' HT.
2. ALL AREAS NOT SHOWN TO BE HARDSCAPED TO RECEIVE SOD/SEED.
3. SITE TO RECEIVE IRRIGATION OF ALL PROPOSED PLANT MATERIAL & HEAD TO HEAD COVERAGE OF SOD/SEED AREAS

olsson
201 East 2nd Street
Grand Island, NE 68801
olsson.com
TEL 308.384.8750
FAX 308.384.8752
Olsson - Engineering
Nebraska COA #CA-0638

REV. NO.	DATE	DESCRIPTION

REVISIONS

SITE PLAN

TRAILSIDE SUBDIVISION

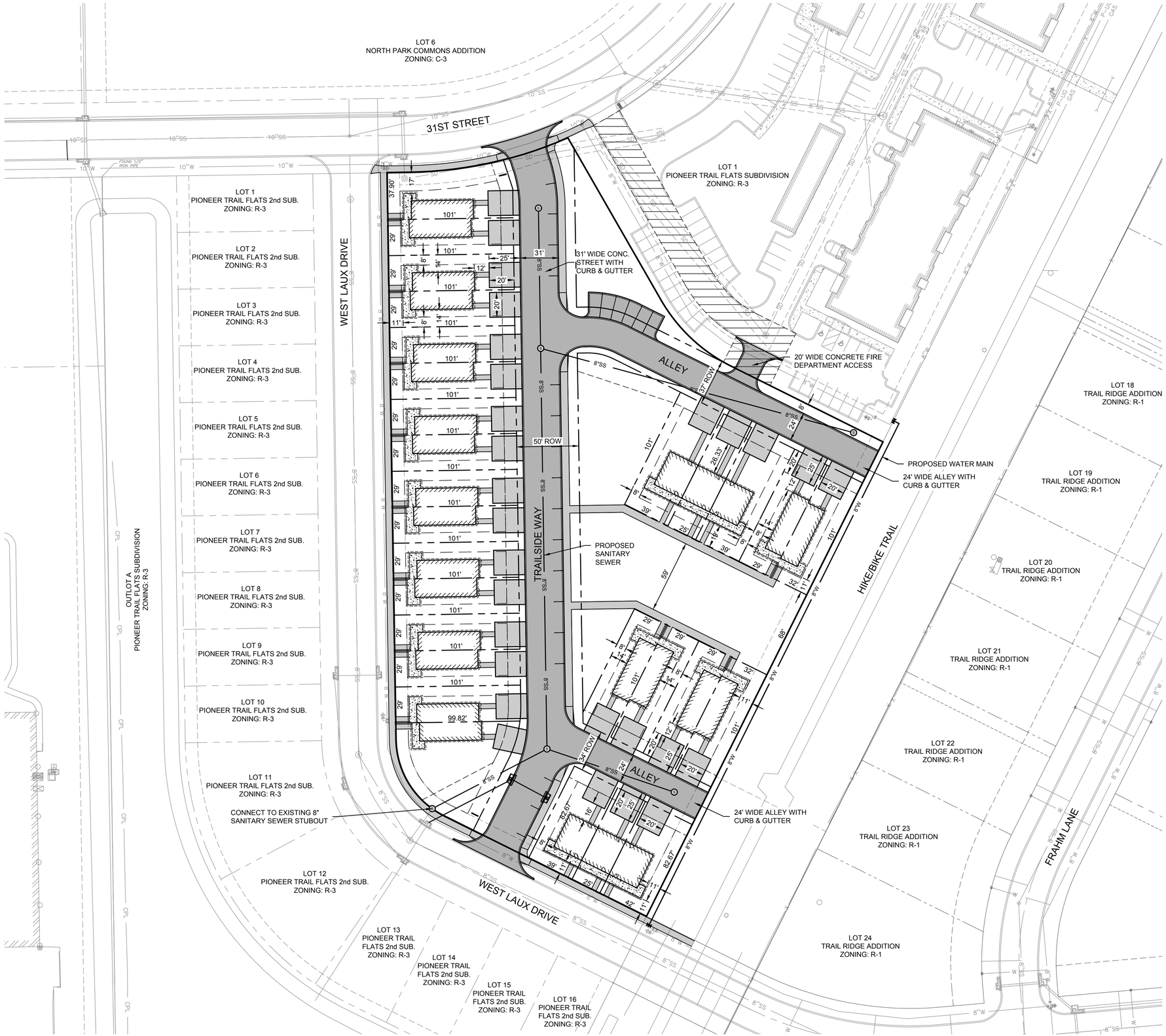
HASTINGS, NEBRASKA

2025

drawn by: LH
designed by: LH
project no.: 024-07078
date: 03-14-2025

SHEET
1 of 2

F:\2024\07001-075000\024-07078\40-Design\AutoCAD\Final Plans\Sheets\SDNIC_SIT01_02407078.dwg
DATE: Mar 13, 2025 4:24pm USER: lhusted



F:\2024\07001-07500\024-07078\40-Design\AutoCAD\Final Plans\Sheets\SDN\C_SIT01_02407078.dwg
DATE: Mar 13, 2025 4:24pm USER: lhusted

olsson
201 East 2nd Street
Grand Island, NE 68801
olsson.com
TEL 308.384.8750
FAX 308.384.8752
Olsson - Engineering
Nebraska COA #CA-0638

REV. NO.	DATE	DESCRIPTION

REVISIONS

SITE PLAN

TRAILSIDE SUBDIVISION

HASTINGS, NEBRASKA

2025

drawn by: LH
designed by: LH
project no.: 024-07078
date: 03-14-2025

SHEET
1 of 2

F:\2024\07001-075000\024-07078\40-Design\AutoCAD\Final Plans\Sheets\SDNIC_SIT01_02407078.dwg
DATE: Mar 13, 2025 4:25pm USER: lhusted

olsson

201 East 2nd Street
Grand Island, NE 68801

olsson.com
TEL 308.384.8750
FAX 308.384.8752

Olsson - Engineering
Nebraska COA #CA-0638

REVISIONS

REV. NO.	DATE	DESCRIPTION

LOT LAYOUT PLAN

TRAILSIDE SUBDIVISION

HASTINGS, NEBRASKA

2025

drawn by: LH
designed by: LH
project no.: 024-07078
date: 03-14-2025

SHEET
1 of 2