

HASTINGS PLANNING COMMISSION

A meeting of the Hastings Planning Commission has been scheduled for Tuesday, March 18, 2025 at 4:00 PM at the Hastings Municipal Airport, 3300 W 12th St, Hastings NE 68901.

AGENDA:

1. Call to Order
2. Roll Call
3. Pledge of Allegiance
4. Motion to adopt the current agenda for the Planning Commission Meeting
5. Public Notice -Official Notice of the Regular Meeting was published in the Hastings Tribune on Saturday, March 8, 2025. Pursuant to Nebraska Revised Statute Section 84-1412, the public is advised that a copy of today's agenda and all reproducible written material which will be discussed at today's meeting is available for public review. Also, a current copy of the Nebraska Open Meetings Act is posted and accessible to members of the public.
6. Approval of Minutes
 - a. Meeting of March 4, 2025
7. Public Hearings.

- a. **2025-83.** Public hearing for a change of zoning for property commonly addressed as 705 W. Franklin Street from R-1, Urban Single-Family Residential District to R-2 Mixed-Density Neighborhood District and to amend the Official Zoning District Map.

Motion to recommend approval for an ordinance and the amendment to the Official Zoning District Map to rezone the property at 705 W Franklin Street from R-1, Urban Single-Family Residential District to R-2 Mixed-Density Neighborhood District.

- b. **2025-82.** Public Hearing to consider a request for a Conditional Use Permit for a self-service, storage facility in a portion of the existing building at 1115 W. 2nd Street. The property is zoned I-1, Light Industrial District.

Motion to recommend approval of the Conditional Uses Permit request to allow for a self-service storage facility in a portion of the existing building at 1115 W. 2nd Street.

- c. **2025-86.** Public hearing to consider a request for Plan Modification No. 2025-1 to Redevelopment Area #1 for the Brant Rentals 811 W. 1st Redevelopment Project. The area of redevelopment is approximately 7,840 square feet (.18 acres) in area. The Plan Modification area is generally located to the southwest of the intersection of West 1st Street and N. Lincoln Avenue, City of Hastings, Adams County, Nebraska.

Motion to recommend approval of Plan Modification No. 2025-1 to Redevelopment Area #1 for the Brant Rentals 811 W. 1st Redevelopment Project. The Plan Modification area is generally located to the southwest of the intersection of West 1st Street and N. Lincoln Avenue, City of Hastings, Adams County, Nebraska.

- d. **2025-87.** Public hearing to consider a request for Plan Modification No. 2025-2 to Redevelopment Area #14 for the Trailside Village Redevelopment Project. The area of redevelopment is approximately 3.56 acres. The Plan Modification area is generally

Planning Commission Agenda

March 18, 2025

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located to the southeast of the intersection of East 31st Street and West Laux Drive, City of Hastings, Adams County, Nebraska.

Motion to recommend approval of Plan Modification No. 2025-2 to Redevelopment Area #14 for the Trailside Village Redevelopment Project. The Plan Modification area is generally located to the southeast of the intersection of East 31st Street and West Laux Drive, City of Hastings, Adams County, Nebraska.

8. Subdivisions
9. Reports
 - a. Committee Reports
 - b. Chairman Comments
 - c. Staff Reports

Adjourn

CITY OF HASTINGS, NEBRASKA
MINUTES OF PLANNING COMMISSION
TUESDAY, MARCH 4, 2025

Pursuant to due call and notice thereof, a meeting of the Hastings Planning Commission was conducted in the Hastings Municipal Airport, 3300 W 12th Street, Hastings, Nebraska, on March 4, 2025

Chair Sinner called the meeting to order at 4:00 p.m. in Regular Session, with the following members present: Michelle Lewis, Greg Sinner, Ann Hinton, Chuck Rosenberg, Shawn Rossi, and Jody Stutzman. Absent: Rakesh Srivastava and Lou Kully.

The following City Officials were present: City Mayor Jay Beckby, City Administrator Mark Funkey, Director/City Engineer, Lee Vrooman, City Attorney, Jesse Oswald, Director of Development Services, Chad Bunger, City Planner, Ember Batelaan, Community Risk Reduction Officer, Anthony Murphy, Public Information Manager, Tony Herrman, Information Technology Director, Erik Nielsen, and Administrative Assistant, Melissa Woodard.

Joe Kindig arrived at 4:02 p.m.

Chair Sinner led the Commission in the recital of the Pledge of Allegiance to the United States of America.

Chair Sinner called for a motion to adopt the current agenda for the March 4, 2025, meeting. Moved by Hinton, seconded by Rosenberg, to adopt the current agenda. Ayes: Kindig, Stutzman, Hinton, Rosenberg, Sinner, Lewis, and Rossi. Nays: None. Motion carried: 7-0.

PUBLIC NOTICE - Official Notice of the Regular Meeting was published in the Hastings Tribune on Saturday, February 22, 2025. Pursuant to Nebraska Revised Statute Section 84-1412, the public is advised that a copy of today's agenda and all reproducible written material, which will be discussed at today's meeting, is available for public review. Also, a current copy of the Nebraska Open Meetings Act is posted and accessible to members of the public.

APPROVAL OF MINUTES

Meeting of December 17, 2024

Chair Sinner called for a motion to approve the December 17, 2024, minutes. Moved by Rossi, seconded by Hinton. Roll Call: Ayes: Kindig, Sinner, Hinton, Rosenberg, Lewis, and Rossi. Nays: None. Abstain: Stutzman. Motion Carried: 6-0-1.

Chair Sinner read The Public Notice Rules Statement prior to the Public Hearings.

Public Hearings

Chair Sinner opened the Public Hearing.

- a. **2025-50 Public hearing for a change of zoning for property commonly addressed as 913 W J Street, from R-1, Urban Single-Family Residential District to C-3, Commercial Business District and to amend the Official Zoning District Map.** Batelaan gave the Staff Report to consider the request for a change of zoning from R-1, Urban Single-Family Residential District, to C-3, Commercial Business District, and to amend the Official Zoning District Map. Staff recommended that the Planning Commission recommend approval to the City Council for a change of zoning for property commonly addressed as 913 W J Street, from R-1, Urban Single-Family Residential District to C-3, Commercial Business District, and to recommend approval to amend the Official Zoning District Map based on the findings provided in the staff report.

With no one speaking, Chair Sinner declared the public hearing closed. Chair Sinner asked for a motion to recommend approval for a change of zoning for the property commonly addressed as 913 W J Street. Rosenberg moved to recommend approval based on findings in the staff report, seconded by Lewis. Roll Call: Ayes: Kindig, Rosenberg, Rossi, Sinner, Stutzman, Lewis, and Hinton. Nays: None. Motion carried: 7-0.

Chair Sinner opened the Public Hearing.

- b. **2025-60 Public Hearing to consider a resolution for the adoption of the City of Hastings' Comprehensive Plan Update, titled City of Hastings, Nebraska Comprehensive Plan 2025.** Bunger summarized the adoption of the City of Hastings' Comprehensive Plan Update, as it had been reviewed several times. Bunger thanked our consultant, Marvin Planning Consultants, the Development Staff, the Planning Commission, and the City Council for bringing us to this point. Staff recommended that the Planning Commission recommend approval to the City Council to adopt the City of Hastings' Comprehensive Plan Update, titled *City of Hastings, Nebraska Comprehensive Plan 2025*.

The Planning Commission and staff discussed parts of the plan and possible edits and revisions to the draft.

Chair Sinner thanked Chad and the Department of Development staff, all City Department staff, and the Commissioners who attended community meetings and events.

Chair Sinner declared the public hearing closed.

Chair Sinner asked for a motion to recommend approval for the adoption of the City of Hastings' Comprehensive Plan Update. Rossi moved to recommend approval for the adoption of the City of Hastings' Comprehensive Plan Update, Titled **City of Hastings, Nebraska Comprehensive Plan 2025**, seconded by Stutzman. Roll Call: Ayes: Kindig, Rosenberg, Rossi, Sinner, Stutzman, Lewis, and Hinton. Nays: None. Motion carried: 7-0.

Special Order of Business

- a. Election of Chairperson: Rosenberg asked for a motion to recommend Greg Sinner as the Chairperson, seconded by Rossi. Roll Call: Ayes: Kindig, Rosenberg, Rossi, Sinner, Stutzman, Lewis and Hinton. Nays: None. Motion carried 7-0.
- b. Election of Vice-Chairperson: Sinner asked for a motion to recommend Chuck Rosenberg as the Vice-Chairperson, seconded by Hinton: Roll Call: Ayes: Kindig, Rosenberg, Rossi, Sinner, Stutzman, Lewis, and Hinton. Nays: None. Motion carried: 7-0.
- c. Election of Second Vice-Chairperson: Rosenberg asked for a motion to recommend Michelle Lewis as the Second Vice-Chairperson, seconded by Sinner. Roll Call: Ayes: Kindig, Rosenberg, Rossi, Sinner, Stutzman, Lewis and Hinton. Nays: None. Motion carried: 7-0.

Reports

- a. **Committee Reports:** None
- b. **Chairman Comments:** Sinner asked Tony Herrman for assistance with informing the community about the Comprehensive Plan adoption and to thank the community for their input in the plan process.
- c. **Staff Reports:** Lee Vrooman discussed the Highway 6 Project.

Danny Graves introduced himself to the Commission as the new Chief Building Official.

Murphy shared that Hastings conducted 161 fire plan reviews in 2024, as a comparison to the City of Grand Island who conducted 164 fire plan reviews in 2023, and for a community half that size, brings things into perspective. He also provided an update on current construction projects and the progress of delegated authority.

Mayor Beckby commented that he is working to involve himself more in the boards and committees of the City and be a part of the community as much as he can. He thanked the Planning Commission for their work.

Funkey thanked Mayor Beckby for his involvement and engagement with the staff and the community and is becoming a strong asset for the City of Hastings. He also thanked the Planning Commission and the staff for their work on the Comprehensive Plan project.

Bunger updated the Commission on several projects, including the Micro-TIF program, the ReThink Our Street Project on First Street, and zoning code updates, which include the draft Sign Code. Bunger thanked the Commission for their support and guidance in these projects.

Rosenberg asked Bunger about the status of the proposed Car Wash on Burlington Avenue. Bunger noted that the City worked with the property owner to remove the vacant homes. He has no update on the potential for the car wash to be built.

Stutzman expressed concern about the sidewalks at that site following the homes being removed. Bunger noted that the Engineering Department is aware of the issue and is working with the contractor to repair the sidewalks.

Bunger announced this would be Ann Hinton's last meeting as a Planning Commissioner for the City of Hastings. He thanked her for her service to the community, it was a pleasure to work with her, and her leadership will be missed! Sinner expressed his gratitude for her work and appreciated her filling in for him during his illness.

Adjourn

Chair Sinner called for a motion to adjourn at 4:45 p.m. The motion was moved by Rosenberg, seconded by Lewis. Roll Call: Ayes: Kindig, Rosenberg, Rossi, Sinner, Stutzman, Lewis, and Hinton. Nays: None. Motion carried: 7-0

Chair Greg Sinner

Department: Development Services
Staff Contact: Chad Bunger
Planning Commission Meeting Date: 3/18/2025
File No: 2025-83
Prepared By: Chad Bunger, Director of Development Services

AGENDA ITEM SUMMARY SHEET

Description of Item:

The applicant, Hastings Area Habitat for Humanity, has requested on behalf of the property owner, Robert and Angela Thomas, to rezone a portion of the property to from R-1, Urban Single-Family Residential District to R-2, Mixed-Density Neighborhood District to allow for the construction of a new single-family home.

The northern 55 feet of the site, which is currently vacant, will be subsequently replatted by an Administrative Plat to subdivide the land.

Names of People/Business affected by this action:

The applicant, property owner, surrounding neighborhood, people of Hastings, and the City.

Why Planning Commission action is required:

Neb. Rev. Stat. 19-902 provides the city council shall receive the advice of the planning commission before taking definite action on any contemplated amendment, supplement, change, modification, or repeal, and no such regulation, restriction, or boundary shall become effective until after separate public hearings are held by both the planning commission and the city council in relation thereto, at which parties in interest and citizens shall have an opportunity to be heard. Notice of the time and place of such hearing shall be given by publication thereof in a legal newspaper in or of general circulation in such municipality at least one time ten days prior to such hearing.

Type of action requested:

Motion

Suggested motion:

Deadlines associated with action:

The request to rezone is scheduled to be heard at the City Council Regular meeting on April 14, 2025.

Department head comments:

Development Services staff has reviewed the application to rezone the property to R-2, Mixed-Density Neighborhood District. The complete details of the staff review and recommendation are in the attached staff report.

Recommendation:

Staff recommends the Planning Commission recommends APPROVAL to the City Council for the request to Rezone the northern 55 feet of the property, generally located southeast of the intersection of West E Street and South Franklin Avenue, from R-1, Urban Single-Family Residential District to R-2, Mixed-Density Neighborhood District.



City of Hastings Planning Commission

STAFF REPORT

Request to Rezone: From R-1, Urban Single-Family Residential District to R-2, Mixed Density Neighborhood District

File No. 2025-83

Applicant Hastings Area Habitat for Humanity on behalf of the property owners, Robert and Angela Thomas

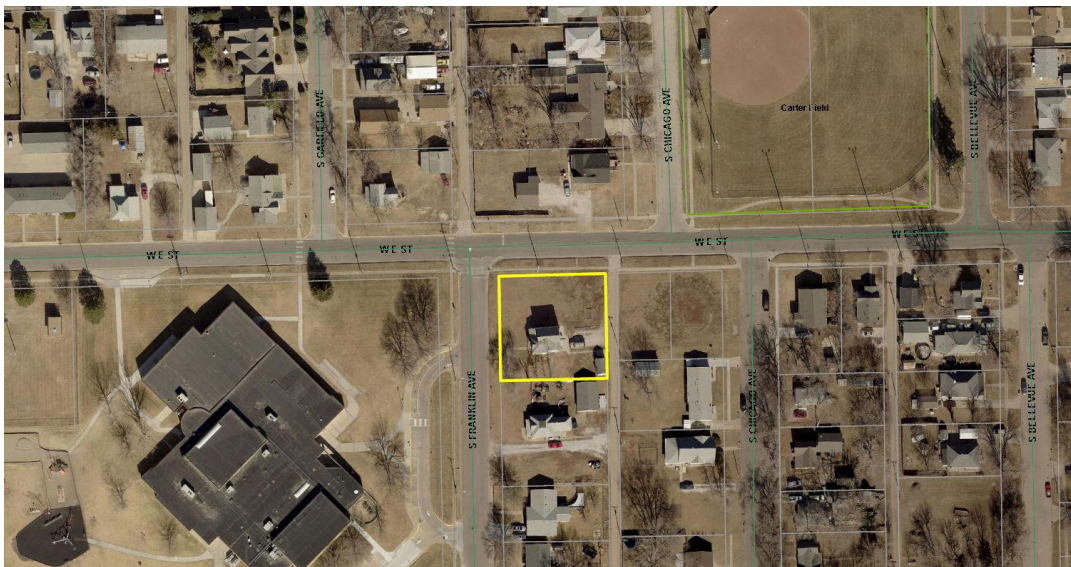
Property Location: Generally located to the southeast of the intersection of West E Street and South Franklin Avenue.

Lot Size: 15,783 square feet (.36-acres)
The area to rezone is 7,056 square feet (.16-acres)

Date of Public Hearing: March 18, 2025

Current Zoning R-1, Urban Single-Family Residential District

Adjacent Zoning: North: R-1 District
East: R-1 District and R-2, Mixed-Density Neighborhood District
South: R-1 District, R-3 District, and R-2/PD Mixed-Density Planned District
West: R-1 District



DESCRIPTION OF REZONING REQUESTS: The Hastings Area Habitat for Humanity would like to purchase the vacant ground from the property owners to build their next home to sell to a qualifying family, per their organization’s mission. This can be done by an Administrative Plat to subdivide the land. However, the location of the existing home creates challenges for the needed Administrative Plat.

The site is currently zoned R-1, Urban Single-Family Residential District. The new lot layout would require the existing home to have a minimum seven-foot side yard setback. Based on the dimensions of the property and the required setbacks, the lot for the existing house would be 71 feet x 126 feet. The lot for the new Habitat for Humanity home would be 55 feet x 126 feet. The Habitat lot would not meet the minimum lot width requirement of 70 feet.

The request is to rezone the proposed Habitat for Humanity lot area to R-2, Mixed Density Neighborhood District, which has a minimum lot area for a single-family home of 4,500 square feet. By rezoning the property to R-2 District, the owners and Habitat for Humanity can complete the Administrative Plat and land sale to develop a new affordable home.

Property Description:

The site is a vacant side yard for the existing home at 705 S. Franklin Avenue. The area is relatively flat. As a corner lot, the site gains access from South Franklin Avenue and West E Street. A mid-block alley is adjacent, which can also provide access to the rezoning site.

STANDARDS TO REZONE PROPERTY:

The provisions of [Article VIII](#) regulate the process to rezone property within the City and its extraterritorial jurisdiction.

The City Council, by recommendation from the City Planning Commission, will base its decision on the following:

- a) **The existing use of the property, its physical and environmental characteristics, its zoning history, and its suitability for the zoning district it currently is within.**

The existing site is a single-family home. The area to be rezoned is a large, vacant side yard of the house. The area is generally flat and has a grassy yard area.

The site has been zoned R-1 District since 1958.

If the rezoning area remained as a yard for the existing home, it would be suitable under the current zoning district. However, if the desire is to develop the large open area for a home, because of the location of the existing house and required setbacks, the rezoning site does not meet the minimum lot width requirement.

- b) **Conformity of the proposed change with the Comprehensive Plan.**

The adopted 2009 Imagine Hastings Comprehensive Plan shows the rezoning site and surrounding area as Urban Residential. The policy statements for this land use category are:

The urban residential category allows higher density residential development, typically in the 4 to 10 units per acre range with lots ranging in size from 7,000 to 10,750 square feet in size. The original development areas of the city consisting of smaller lots and blocks, defined by a gridded street network, are good examples of this type of residential development. This category may include a mixture of housing styles and types including single family, duplexes, townhomes and multi-family of both rental and ownership types. Such residential uses may be integrated into neighborhoods or neighborhood centers, community centers, and regional centers per specified location guidelines outlined. To maintain the viability of these types of neighborhoods community services such as churches, schools and parks are also allowed in this land use category.

The 2025 City of Hastings Comprehensive Plan, currently under public review and anticipated to be adopted on March 24, 2025, shows the Medium Density Residential (MDR). The policy statements for the proposed land use category area:

General Purpose

The Medium Density Residential land use district includes both existing and new residential neighborhoods with a mix of single-family, two-family, and multi-family dwellings on small to moderately-sized lots with supporting community facilities. It is intended to encourage creative development patterns and adaptive reuse of existing structures. Streets are paved with sidewalks, curbs, and gutters.

Compatible Uses

1. Residential single-family dwellings
2. Missing Middle residential development (such as cottage court, townhouses, duplex, fourplex)
3. Accessory Dwelling Units (ADUs)
4. Residential care facilities
5. Small-scale mixed-use development
6. Public facilities (such as fire stations, public utility substations, community centers, etc.)
7. Religious and Educational uses and structures
8. Renewable Energy facilities, within performance standards

Incompatible Uses

1. Industrial uses
2. Commercial uses, except in small scale mixed use developments

Issues

1. *Off-site impacts - visual, noise odors, runoff*
2. *Traffic and site access*
3. *Natural amenities such as trees and waterways*
4. *Topography and drainage*
5. *Municipal water and sewer availability*
6. *Sidewalks and multi-modal accessibility*

Special Policies

1. *Densities should range between seven and 15 dwelling units per acre*
2. *Density may be increased for small lot development*

Both the currently adopted and proposed Comprehensive Plan envision this area as a denser residential area that allows for a mix of housing types.

Although the zoning district would allow for multiple-family dwellings, the size of the proposed lot would limit the type of dwelling that could be on the 56-foot by 126-foot lot to either a single-family home or a two-family home. The result would be development similar to the homes throughout the area.

The proposed rezoning request generally conforms to both the currently adopted and proposed Comprehensive Plans.

c) Adequacy of sewer, water, streets, and other needed facilities and services for permitted uses in the proposed zoning district.

Adequate public utilities and access to public rights-of-way are available to serve the site.

Public water, sanitary sewer, electricity, and gas are in the South Franklin Avenue or West E Street rights-of-way or adjacent public alley.

The rezoning site has access to South Franklin Avenue, West E, and an adjacent public alley for the possible driveway.

d) The character of the neighborhood, including the zoning and uses of nearby property.

The neighborhood can be characterized as consisting of primarily detached single-family homes. There are a few duplexes and apartments scattered throughout the surrounding area. The size of the single-family homes and the lots they sit on vary in size across the neighborhood.

To the west of the rezoning site is the Lincoln Elementary School. To the northeast of the site is the Carter Field public park.

e) Compatibility of the proposed zoning district with nearby property.

The proposed rezoning should be compatible with the nearby properties. The properties to the immediate east are already zoned R-2, Mixed-Density Residential District. Two of the new homes on these properties were recently built by the Hastings Area Habitat for Humanity. The proposed home on the site will generally be the same size and design as these homes.

To the south of the site are properties zoned R-2/PD, Mixed-Density Residential District and Planned District, and R-3, Multiple-Family Residential District. The R-2/PD District zoned properties are single-family homes ranging from 55-foot to 63-foot lot widths. The R-3 District zoned properties are single-family homes and an apartment.

Although the proposed zoning district would allow for up to a two-family dwelling, the size of the rezoning site would limit the development potential to a single-family dwelling (Sec. 35-206). Per the zoning district, a single-family dwelling requires a minimum 50-foot lot with 6,000 square feet of lot area. The proposed rezoning site is 56 feet by 126 feet, with a lot area of 7,056 square feet.

Additionally, the applicant, Hastings Area Habitat for Humanity, has stated they plan to construct a new single-family home on the rezoning site.

The proposed rezoning is compatible with nearby properties and provides a solution to use underutilized vacant land to develop an affordable home for qualified families.

f) Additional matters as might apply in individual cases.

None

STAFF COMMENTS: Staff recommends the Planning Commission recommend **APPROVAL** to the City Council for the Request to Rezone the property generally located to the southeast of the intersection of West E Street and South Franklin Avenue, from R-1, Urban Single-Family Residential District to R-2, Mixed-Density Neighborhood District.

PREPARED BY: Chad Bunger, AICP, CFM, Director of Development Services

DATE: March 5, 2025

ATTACHMENTS:

1. Application materials
2. 2009 and proposed 2025 Comprehensive Plan Future Land Use Map
3. R-2 District Standards



Zoning Application

Date: 02/03/2025

Project

Permit Type:	Zoning Change (Rezone)	Existing Zoning:	R-1, Urban Single Family Residential
Project Name:	Hastings Area Habitat for Humanity Home Build	Proposed Zoning:	R-3, Multiple Family Residential
Project Address:	705 S Franklin Ave	Comprehensive Plan:	
City, State, Zip:	HASTINGS, NE 68901	Gross Area:	7938
In City Limits:	Yes	# of Lots:	1
Legal:		Proposed Use:	Single family residence

Reason for Request: To Create a buildable lot

Applicant / Owner

Applicant Name:	Hastings Area Habitat for Humanity	Owner Name:	THOMAS ROBERT L & ANGELA S
Company:	Hastings Area Habitat for Humanity	Address:	523 S QUEEN CITY AVE
Address:	621 N Lincoln Ave	City, State, Zip:	HASTINGS, NE 68901-0000
City, State, Zip:	Hastings, NE 68901	Phone:	
Phone:	402-469-9203	Email:	
Email:	dhoglund9@gmail.com		

Key Contact

Key Contact:	Address:
Company:	City, State, Zip:
Phone:	Email:

I do hereby certify that the information contained herein is true and correct.

David Hoglund
Applicant

02/03/2025
Date

Owner

02/03/2025
Date



Owner's Authorization Letter

I/we hereby certify that I/we are the owner(s) of the property described herein. I/we am/are respectfully requesting processing and approval of the application(s) referenced herein. I/we hereby authorize the Applicant(s) listed on this application to act on my/our behalf during the processing and presentation of the request. The person(s) identified as Applicant shall be the principal contact with the City in processing this application.

Project: Rezoning Franklin Ave. + E. St. W
Address/Location: Lot 20 BIK 2 Kellers Add
Applicant(s): Robert L Thomas

Robert Thomas
Owner:

Robert Thomas
Owner's Signature

Owner:

Owner's Signature

State of Nebraska - General Notary
SHERRI L PATTERSON
My Commission Expires
May 22, 2026

State of Nebraska)

) ss:

County of Adams)

The foregoing document was acknowledged before me this 20th day of February 2025

, by Robert Thomas

Sherril L Patterson

Notary Public

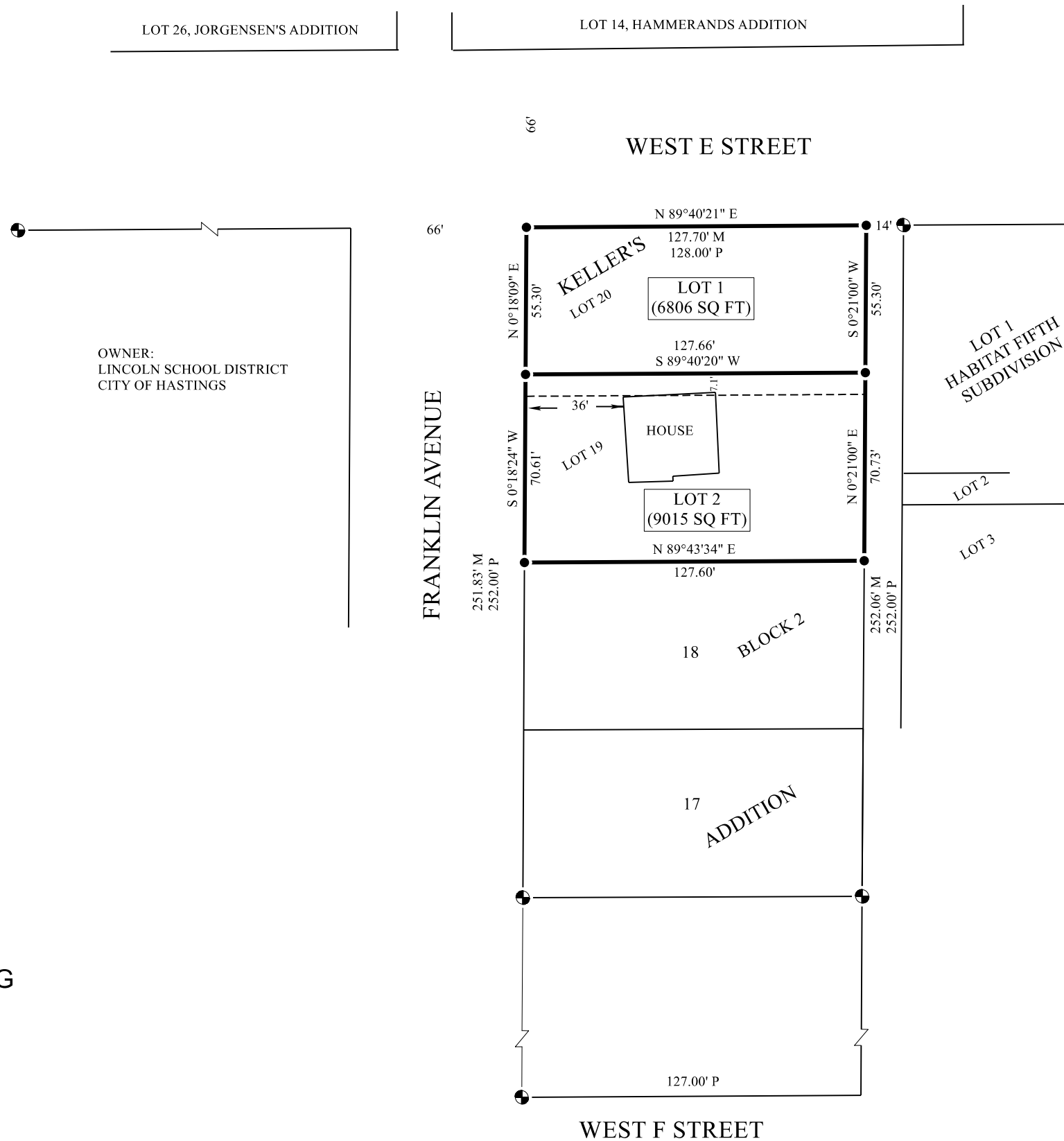
HABITAT SIXTH SUBDIVISION

ADMINSTRATIVE PLAT

LOT NINETEEN (19) AND LOT TWENTY (20) , IN BLOCK TWO (2), KELLER'S ADDITION TO THE CITY OF HASTINGS, ADAMS COUNTY, NEBRASKA

LOT 26, JORGENSEN'S ADDITION

LOT 14, HAMMERANDS ADDITION



OWNER:
LINCOLN SCHOOL DISTRICT
CITY OF HASTINGS

LEGAL DESCRIPTION - LOT 1

THE NORTH 55.30 FEET OF LOT TWENTY (20), BLOCK TWO (2), KELLER'S ADDITION TO THE CITY OF HASTINGS, ADAMS COUNTY, NEBRASKA.

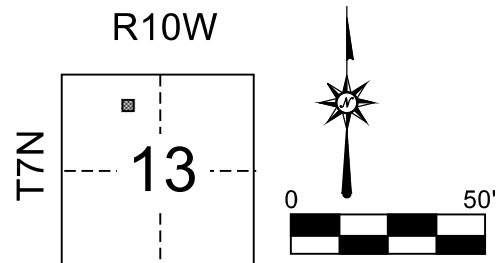
LEGAL DESCRIPTION - LOT 2

LOT NINETEEN (19) AND LOT TWENTY (20), EXCEPT THE NORTH 55.30 FEET THEREOF, BLOCK TOW (2), KELLER'S ADDITION TO THE CITY OF HASTINGS, ADAMS COUNTY, NEBRASKA.

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAT OF A SURVEY WAS MADE BY ME OR UNDER MY SUPERVISION AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND THAT I AM A DULY PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEBRASKA.

THOMAS L. KRUEGER | LS-448



NOTE: ALL BEARINGS ARE ASSUMED

LEGEND	
●	SET PLASTIC CAP (LS-448) ON 1/2" REBAR
⊙	CORNER FOUND
M	MEASURED DISTANCE
R	RECORD DISTANCE

KRUEGER LAND SURVEYING
2837 WEST U.S. HIGHWAY 6 #204
HASTINGS, NE 68901
402-984-2176

FILE NAME HABITAT SIXTH SUBDIVISION - CITY OF HASTINGS		
SCALE 50 Ft/In	DATE 3-10-2025	DRAWN BY T. KRUEGER
JOB KLS-25018	FIELD WORK TK	SHEET 1 OF 2



HASTINGS

Nebraska



File No.

2025-83

Project

Public hearing for a change of zoning for property generally located to the southeast of the intersection of West E St. and S. Franklin Ave., from R-1, Urban Single-Family Residential District to R-2, Mixed-Density Neighborhood District, and to amend the Official Zoning District Map.

Applicant

Hastings Area Habitat for Humanity



S GARFIELD AVE

S CHICAGO AVE

S BELLEVUE AVE

WEST

WEST

WEST

WEST

S FRANKLIN AVE

S CHICAGO AVE

S BELLEVUE AVE

Carter Field





WEST

S GARFIELD AVE

WEST

S FRANKLIN AVE



S CHICAGO AVE

WEST

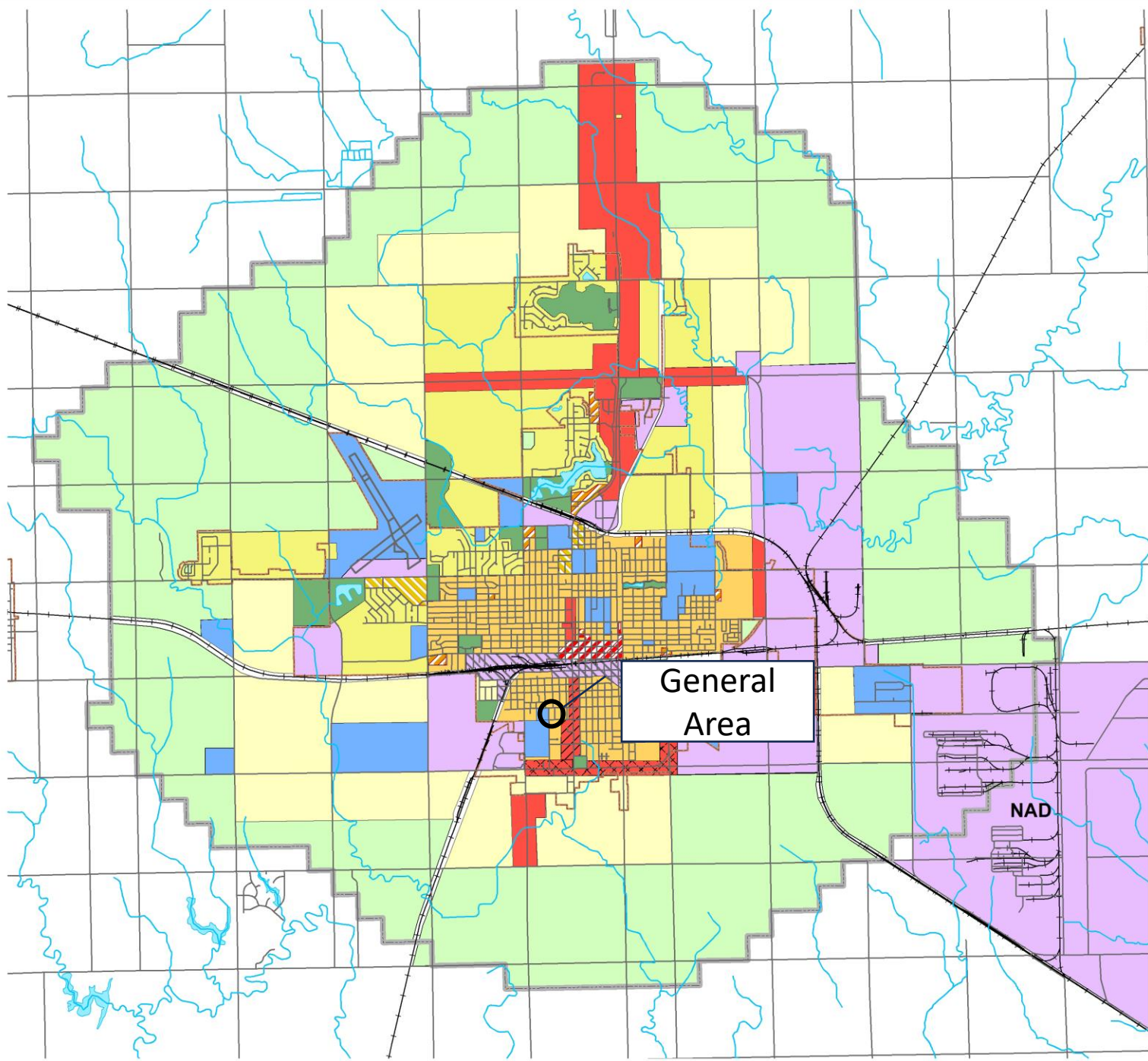
S CHICAGO AVE

Carter Field

WEST

S BELLEVUE AVE

S BELLEVUE AVE



Future Land Use
City of Hastings, Nebraska





Future Land Use Plan Adopted
 Planning Commission: 1-20-2009
 City Council: 2-24-2009
 Ordinance #4215

Map Last Updated: December 28, 2016

Land Use:

-  Rural Residential
-  Suburban Residential
-  Urban Residential
-  Mixed-Use - Neighborhood
-  Mixed-Use - Community
-  Mixed-Use Downtown
-  Commercial/Retail
-  Employment/Industrial
-  Public / Semi-Public
-  Parks & Recreation
-  Agriculture

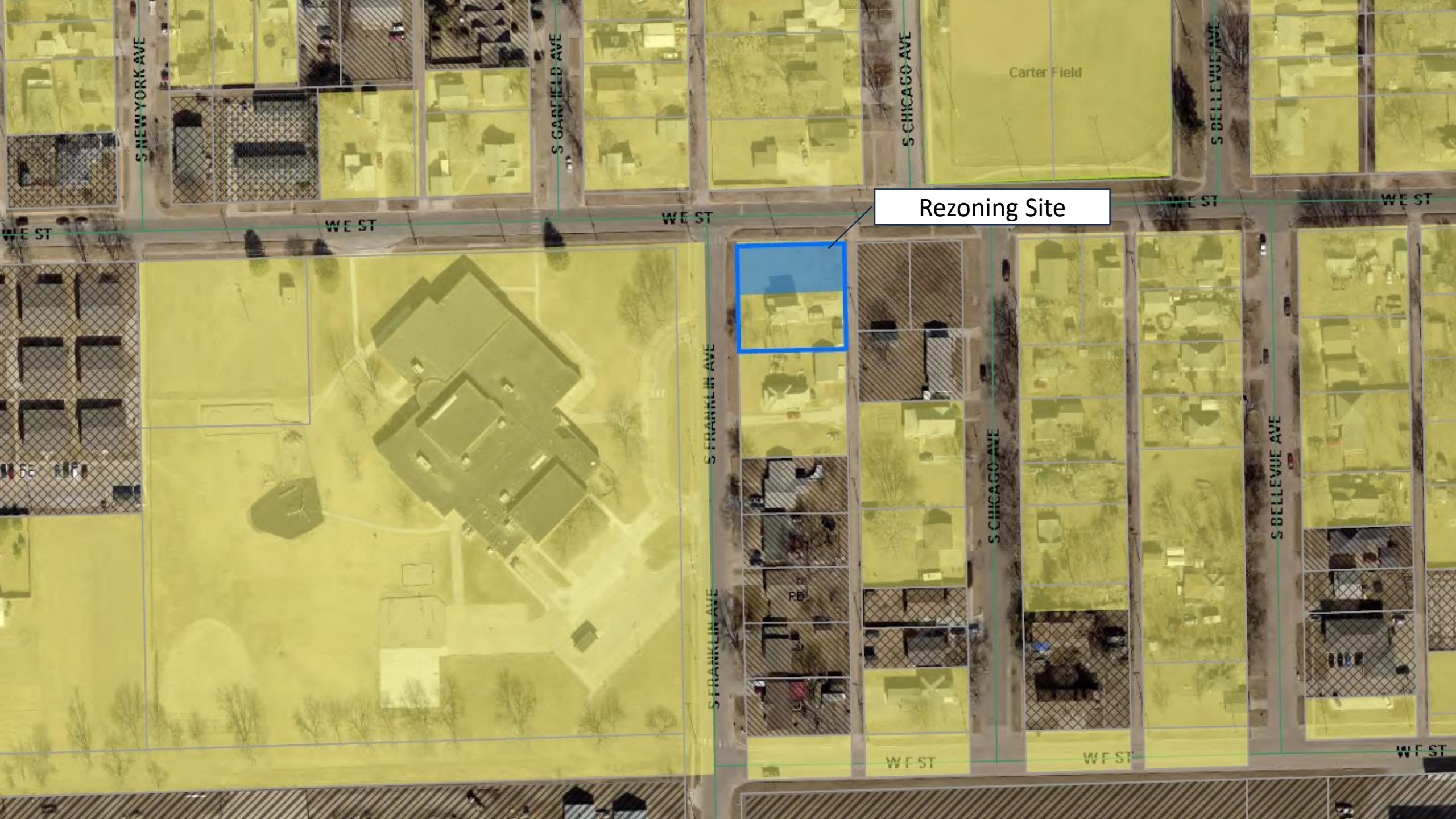
Overlay Districts:

-  South Burlington Overlay
-  Highway 6 Overlay
-  Urban Industrial Overlay
-  Floodplain

-  City Boundary
-  ETJ Boundary
-  Education

not to scale





Rezoning Site

S NEW YORK AVE

S GARFIELD AVE

S CHICAGO AVE

S BELLEVUE AVE

Carter Field

WE ST

WE ST

WE ST

WE ST

S FRANKLIN AVE

S CHICAGO AVE

S BELLEVUE AVE

S FRANKLIN AVE

WF ST

WF ST

WF ST

Looking Southwest



Looking East



Staff Findings Summary

- The surrounding area is a residential area that conforms with both the 2009 and 2025 Comprehensive Plans
- Adequate public infrastructure is available in the area to serve the development.
- The surrounding neighborhood is residential in character and the proposed rezoning to R-2 would be compatible with the area.

Staff Recommendation

City staff recommends to the Planning Commission to **recommend approval** for an ordinance and the amendment to the Official Zoning District Map to rezone property generally located to the southeast of the intersection of West E Street and South Franklin Avenue, City of Hastings, Adams County, Nebraska, from R-1, Urban Single-Family Residential District to R-2, Mixed-Density Neighborhood District, and to amend the Official Zoning District Map.



HASTINGS

Nebraska

Department: Development Services
Staff Contact: Chad Bunger
Planning Commission Meeting Date: 3/18/2025
File No: 2025-82
Prepared By: Chad Bunger, Director of Development Services

AGENDA ITEM SUMMARY SHEET

Description of Item:

The applicant has requested a Conditional Use Permit to establish a self-service storage facility in the western side of the existing building at the property commonly addressed as 1115 West 2nd Street. The facility will be approximately 43,700 square feet over two floors and provide 350 units.

Names of People/Business affected by this action:

The applicant and the people of Hastings.

Why Planning Commission action is required:

Sec. 34-401: Conditional uses may be approved by the Hastings City Council following a public hearing and receipt of a recommendation from the Planning Commission in accordance with the required findings set forth in this Chapter and the additional standards set forth in this article. In considering an application for a conditional use, the Commission and the Council shall require the applicant to produce satisfactory evidence of compliance with both the general and applicable specific standards set forth in this Article. The Commission may recommend and the Council may impose any conditions they deem reasonable and necessary to further the purposes and intent of this Article, to protect the public health, safety and welfare, and to meet the planning goals set forth in the City's Comprehensive Plan.

Type of action requested:

Motion

Suggested motion:

Deadlines associated with action:

The City Council is scheduled to review this Conditional Use Permit on April 14, 2025

Department head comments:

Development Services staff have reviewed the application for the self-service storage facility Conditional Use Permit. The complete details of the staff review and recommendation are in the attached staff report.

Recommendation:

Staff recommends the Planning Commission APPROVE the CONDITIONAL USE PERMIT for the creation of a self-service storage facility at 1115 West 2nd Street, in the I-1, Light Industrial District, with the following conditions:

1. The proposed facility must be developed as proposed.
2. All applicable permits must be acquired before construction.
3. All applicable requirements of Sec. 34-404(9) will be followed.
4. This conditional use permit is valid 24 months, per Sec. 34-404(9)(h).
5. The proposed facility will not be expended, unless an amended conditional use permit is approved by the City Council.



City of Hastings Planning Commission

STAFF REPORT

Request for Conditional Use: To establish a self-service storage facility within the western part of the existing commercial building

File No. 2025-82

Applicant B & R Stores, Inc.

Property Location: 1115 West 2nd Street

Lot Size: 3.90 acres

Date of Public Hearing: March 18, 2025

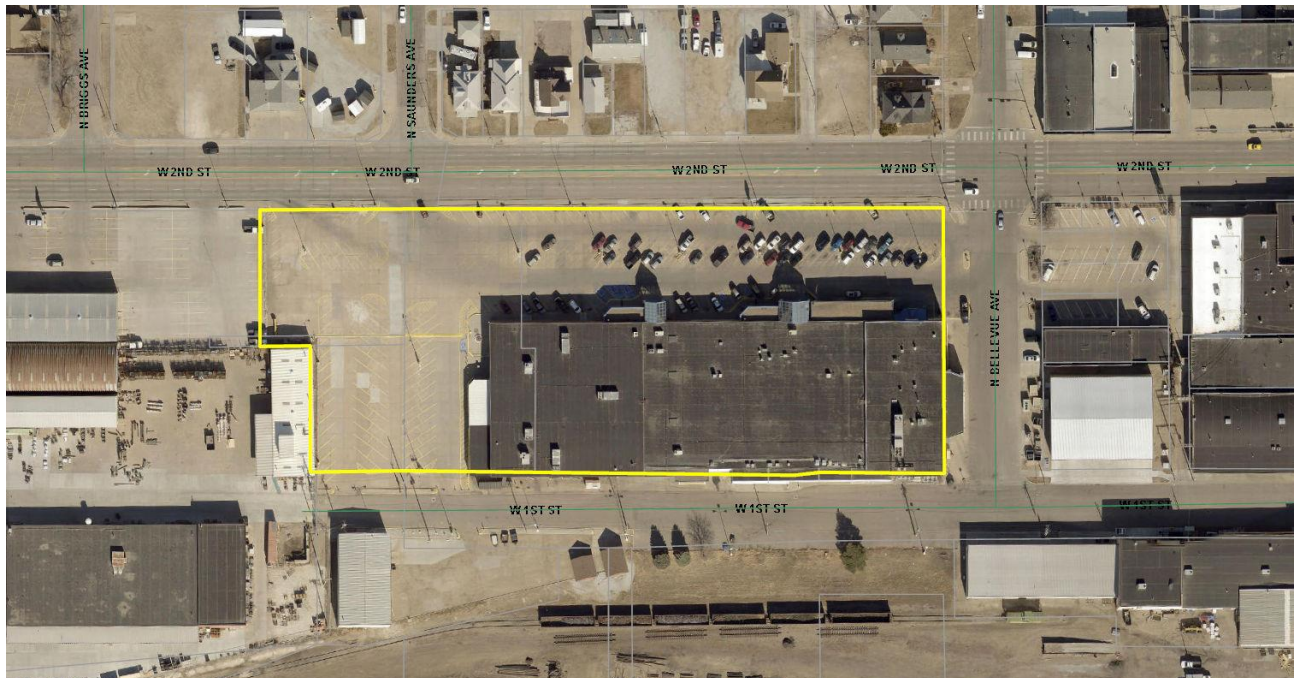
Zoning I-1, Light Industrial District

Adjacent Zoning: North: C-3, Commercial Business District

East: I-1 District

South: I-2 Heavy Industrial District

West: I-1 District and I-2 District



SECTION AND REQUIREMENT OF HASTINGS CODE OF ORDINANCE ALLOWING FOR CONDITIONAL USE:

- **Sec. 34 – 200. Uses and District Table (Table 200-1):** Self-service Storage Facilities - Conditional Use in I-1 District
- **Sec. 34-404 (9). Standards for self-service storage facilities.**

DESCRIPTION OF CONDITIONAL USE REQUESTED: The applicant, B & R Stores, Inc., has proposed to renovate approximately 43,700 square feet of the existing commercial building’s ground floor and basement area to establish an indoor self-service storage business. The existing building has a building footprint of roughly 79,000 square feet in area. The proposed renovation would occur on the west side of the building. The current grocery store would remain. The self-service storage facility would provide 350 climate-controlled units, ranging in size from 5 feet by 5 feet up to 10 feet by 30 feet.

As described in the application materials, the owners have made significant efforts to lease the former department store space to a commercial tenant. Still, for various reasons, a viable commercial tenant could not be secured.

The application materials provide more details on the desire for the proposed renovation and the operational plan of the self-service storage facility. In summary, the building's current site layout and exterior design will be essentially unchanged. The facility will operate 24 hours a day, seven days a week, using digital access to the facility through a web portal and a mobile app. No onsite office or management will be provided. Please see the application materials for more information.

Property Description: The site is the current location of the Allen’s Food Mart grocery store and the former site of the Allen’s of Hastings, which included a department store alongside the grocery store. The property is approximately 3.90 acres in area and is almost entirely paved. The building footprint is roughly 79,900. The site has over 220 marked off-street parking spaces. A pole sign is located along West 2nd Street at approximately the mid-point of the property.

STANDARDS FOR CONDITIONAL USE PERMITS:

The provisions of [Article IV](#) are applicable to all uses that are designated as “conditional” as set out in [Sec. 34-200](#). The designation of a conditional use means that it is only allowed in a proposed location if all of the conditions applicable to the use, as set out in [Sec. 34-404](#), as may be amended, and if all of the other applicable requirements of this Chapter or conditions of the Hastings City Council and Planning Commission are met.

Pursuant to [Sec. 34-402](#) of the City Code of Ordinance, the City Council, by recommendation from the City Planning Commission, will base its decision on the following:

- (a) **Pedestrian and vehicular traffic circulation and safety.**

The site was originally built as a large department store, Allen's of Hastings. The site gains access from West 2nd Street from multiple driveways, North Bellevue Avenue at the signalized intersection, and along West 1st Street. A public sidewalk exists along West 2nd Street. No changes to the site access or parking lot layout are proposed.

The proposed self-service storage facility should not generate more vehicular or pedestrian traffic than the former department store and current grocery store. The proposed use should maintain the area's traffic circulation and safety patterns.

(b) Reasonable and economic extension of public utilities and facilities.

The proposed use will generally use the existing infrastructure present in the immediate area. The proposed use would be a reasonable and economical use of the public utilities as no new water or sanitary sewer mains are required to serve the proposed expansion.

(c) Noise, fumes, dust, or other environmental pollution.

There should not be an increase in noise, fumes, or other environmental pollution by the change of use compared to the existing and former uses of the site.

The proposed self-service storage facility will be a 24x7 operation. However, that should not adversely impact the surrounding properties by causing pollution. The only potential for impact would be light pollution, however, the current parking lot lights are illuminated 24 hours a day.

(d) The maintenance of logical and efficient development patterns and land use mixtures.

The proposed use maintains a local and efficient development pattern and land use mixture. The plant has been in operation for decades. The current owner purchased the property in 2020. The owners have tried to lease the vacant former department store area to a viable tenant, but with no success.

The proposed self-service storage facility would provide an appropriate use of the existing building and its related infrastructure. Only minimal renovations to the building are envisioned.

This is a transitional area from the commercial uses associated with Downtown Hastings to the east and the industrial area to the west of the site. The self-service storage facility would provide a use that would complement the transitional land use pattern.

(e) The maintenance of property values in accordance with established and permitted land use.

The proposed use would maintain property values for the site and surrounding areas. As previously discussed, the area intended for the self-service storage facility has been a vacant commercial space for several years. Although the property has attempted to recruit a viable tenant for the space, it has remained vacant.

The proposed use would re-purpose a large part of the existing building that would most likely remain unused and vacant. Approving the Conditional Use would allow the space to be utilized and provide indoor climate-controlled self-service storage service that has not been provided to date. This will maintain the property values of the site and surrounding area.

- (f) Other standards and conditions to consider.** Section 34-404(9) requires additional regulations for establishing a self-service storage facility in zoning districts that define them as conditional uses (see attached). Because the proposed site is already completely developed, some requirements have already been met. The proposed use is unique in that it is located within an existing building, so some requirements, such as building height, loading docks, and screening fences should be considered allowable exceptions as legally nonconforming conditions or not applicable.

STAFF COMMENTS: Staff recommends the Planning Commission **APPROVE** the **CONDITIONAL USE PERMIT** for the creation of a self-service storage facility at 1115 West 2nd Street, in the I-1, Light Industrial District, with the following conditions:

1. The proposed facility must be developed as proposed.
2. All applicable permits must be acquired before construction.
3. All applicable requirements of Sec. 34-404(9) will be followed.
4. This conditional use permit is valid 24 months, per Sec. 34-404(9)(h).
5. The proposed facility will not be expended, unless an amended conditional use permit is approved by the City Council.

PREPARED BY: Chad Bunger, AICP, CFM, Director of Development Services

DATE: March 10, 2025

ATTACHMENTS:

1. Application materials
2. Site Plan
3. Floor Plan
4. Interior Photos
5. Sec. 34-404(9) standards

Sec. 34-404(9) *Standards for self-service storage facilities*

(a) Site plan:

- (i) The plan shall be drawn at a scale of one inch equals 20 feet. Said plan shall include all building locations, drives, parking, fencing and signage. A landscape plan shall also be incorporated as part of the submittal and must be included as part of the site plan or submitted on a separate sheet. Building elevation shall also be included on the plan along with specification of the colors of buildings and materials to be used.
- (ii) Site drainage shall be incorporated in the plan so that storm water run-off from the site will not increase as a result of the proposed development. The facility shall be designed to control the storm water run-off from at least 25-year return frequency storm as certified by the City Engineer.

(b) Minimum site areas: None.

(c) Building setbacks shall be the same as in the C-3 District.

(d) The site shall abut and have direct access to a city street.

(e) Other requirements:

- (i) The storage facility shall be enclosed by a six foot high, sight-proof fence whenever the site abuts residentially zoned or developed property. Said fence, when abutting any residential district, shall be solid or semi-solid and constructed to prevent the passage of debris or light, and constructed of either brick, stone, masonry units, wood or similar materials. Chain-link fence may be used so long as it has slats installed to prevent the passage of light through the unit. The side and rear of a building located upon the site may serve as fencing.
- (ii) Landscaping shall be provided in the areas outside the fences between the fence and the property line.
- (iii) Two parking spaces shall be provided, plus one additional space for each employee. Internal drives and parking shall comply with [Section 34-308](#) of this chapter for paving requirements.
- (iv) Building heights shall be limited to one story (not to exceed 14 feet at the eaves), unless waived for an existing building by the Planning Commission and the City Council.
- (v) Buildings shall be separated a minimum of 30 feet from one another within self-service storage facilities. Storage bays within a single building shall not be interconnected by interior doors or other interior means providing access from one storage bay to another. The dimensions of any storage bay shall not exceed 22 feet in the narrowest dimension or 36 feet in the widest dimension.
- (vi) A sign shall be limited to one ground pole sign at the entrance to the premises. Not more than 32 square feet in area shall be permitted with a maximum height of ten feet.
- (vii) All exterior lighting shall be of cut-off type to prevent off-site glare. Each tenant storage space shall be provided with separate interior lighting.
- (viii) All storage shall be kept within an enclosed building.
- (ix) Loading docks shall be prohibited and loading areas to storage bays shall be at the same elevation as the means of vehicular access thereto.

(f) Commercial activity: It shall be unlawful for any owner, operator or lessee of any self-service storage facility or portion thereof to offer for sale, or to sell any item of personal property or to conduct any type of commercial activity of any kind whatsoever, other than leasing of the

storage units, or to permit same to occur upon any area designated as a self-service storage facility. Violation of this section shall be subject to the provisions of [Section 34-804](#) of the Hastings City Code. Any violation may be cause for revocation of the conditional use permit by the City Council.

- (g) Repair, reconditioning and fabrication prohibited:
 - (i) Because of the danger from fire or explosion caused by the accumulation of vapors from gasoline, diesel fuel, paint, paint remover and other flammable materials, the repair, construction, or reconstruction of any boat, engine, motor vehicle, or furniture, and the storage of any propane or gasoline storage tank is prohibited within or outside any structure on a tract of land designated as a self-service storage facility.
 - (ii) This provision shall be posted and be included in the tenant lease agreement.
- (h) An approved plan shall be valid for a period of 24 months following the date of approval by the Council. If construction has not been started within said 24-month period, the plan shall be null and void unless the time for start of construction has been extended by the Council.



Zoning Application

Date: 01/30/2025

Project

Permit Type:	Conditional Use	Existing Zoning:	C-3, General Business
Project Name:	Allen's Storage Facility Conversion	Proposed Zoning:	
Project Address:	1115 W 2nd St	Comprehensive Plan:	
City, State, Zip:	HASTINGS, NE 68901	Gross Area:	102600
In City Limits:	Yes	# of Lots:	7
Legal:		Proposed Use:	Storage Facility

Reason for Request: Convert part of the facility to a storage facility

Applicant / Owner

Applicant Name:	Jordan Raybould	Owner Name:	B & R STORES INC
Company:	B&R Stores	Address:	ATTN: JANE RAYBOULD VP
Address:	4554 W St		4554 W STREET
City, State, Zip:	Lincoln, NE, 68505	City, State, Zip:	LINCOLN, NE 68503-0000
Phone:	913-488-0855	Phone:	
Email:	jordanraybould@brstores.com	Email:	

Key Contact

Key Contact:	Jordan Raybould	Address:	4554 W Street
Company:	B&R Stores	City, State, Zip:	Lincoln, NE, 68505
Phone:	9134880855	Email:	jordanraybould@brstores.com

I do hereby certify that the information contained herein is true and correct.

Jordan Raybould
Applicant

01/30/2025
Date

Owner

01/30/2025
Date

Jordan Raybould

4554 W Street

Lincoln, NE 68503

jordanraybould@brstores.com

913-488-0855

2/25/25

City of Hastings Planning & Zoning Department
Hastings, NE

Dear Planning & Zoning Committee,

We are submitting this request for a Conditional Use Permit to repurpose the long-vacant space adjacent to our store at Allen's. The purpose of this permit is to allow for the conversion of this underutilized commercial space into a climate-controlled self-storage facility, which we believe will provide a valuable service to the Hastings community.

The area proposed for conversion is approximately 43,687 square feet and will accommodate 350 climate-controlled storage units, ranging in size from 5'x5' to 10'x30'. The layout has been carefully designed to maximize efficient use of the space while ensuring security and accessibility for renters.

Despite significant efforts to lease the space, including hiring brokers and exploring multiple tenant options, we have been unsuccessful in securing a viable commercial tenant. The layout and size of the space no longer meets the needs of most modern retail and commercial operators, which has made traditional leasing difficult. Rather than allowing the space to remain unproductive, we have identified an alternative use that will enhance the property and serve an unmet need in the Hastings market.

Currently, Hastings does not have a large, climate-controlled self-storage facility. Climate-controlled storage is particularly beneficial for residents needing secure storage for temperature-sensitive items, small businesses seeking flexible storage solutions, and individuals who require secure and accessible options for personal or professional use. By converting this space, we can provide a well-maintained, modern storage solution without requiring exterior modifications.

Building Alterations & Site Layout

To accommodate the conversion, necessary alterations to the building will include:

- Construction of a demising wall to separate the storage facility from the current grocery store.
- Light demolition of non-load-bearing interior walls to optimize unit layout.
- Bolstering of the floor to meet load-bearing requirements for self-storage use.

Importantly, no changes will be made to the exterior site layout, including drainage, parking, or landscaping. The existing infrastructure fully supports this new use without disruption to neighboring businesses or the community.

Security & Operations

The facility will operate 24/7, with all renting and unit access handled via a web portal and mobile app. There will be no onsite office or manager, reducing operational overhead while ensuring secure, customer-friendly access.

Security is a top priority, and we plan to implement:

- Additional interior and exterior security cameras for continuous monitoring.
- State-of-the-art Noke System, ensuring that only current renters and management will have access to the building and their respective units.
- Controlled entry systems to prevent unauthorized access and enhance safety.

Parking & Lighting

Parking needs will remain unaffected, as the facility will generate minimal traffic compared to a traditional retail use. All exterior parking lot lighting will remain unchanged, as no additional exterior storage units are being added.

We appreciate your consideration of this request and welcome any opportunity to discuss how this project aligns with the city's economic and development goals. Please let us know if additional information is required.

Sincerely,

Jordan Raybould
Director of Buildings & Equipment
B&R Stores

UNIT MIX

Unit Mix				
Unit Size		SF per Unit		Number of Units
Climate Controlled - Main Floor				
5.0	X	5.0	25.0	33
5.0	X	7.5	38	1
5.0	X	10.0	50	6
5.0	X	15.0	75	1
8.5	X	15.0	127.5	2
10.0	X	5.0	50.0	33
10.0	X	7.5	75	6
10.0	X	10.0	100	65
10.0	X	12.0	120	1
10.0	X	15.0	150	21
10.0	X	20.0	200	14
10.0	X	30.0	300	5
12.0	X	7.5	90	1
Total Climate Controlled - Main Floor				189
Climate Controlled - Basement				
5.0	X	5.0	25.0	13
5.0	X	10.0	50	12
5.0	X	15.0	75	1
8.5	X	15.0	128	1
10.0	X	5.0	50	29
10.0	X	7.5	75	1
10.0	X	10.0	100	59
10.0	X	15.0	150	22
10.0	X	20.0	200	15
10.0	X	30.0	300	7
12.0	X	15.0	180	1
Total Climate Controlled - Basement				161
Total				350



W 1st St

N Bellevue Ave

W 1st St

W 1st St

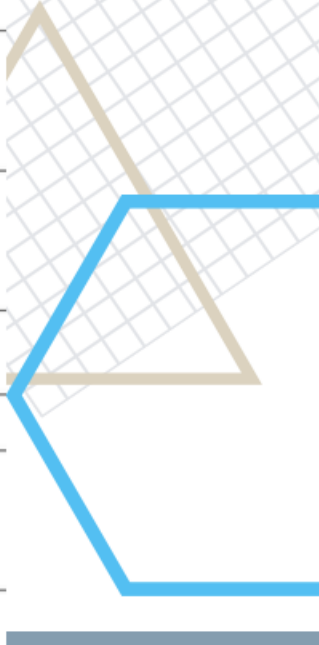
W 1st St

SUBJECT SITE

SITE PLAN - 1ST FLOOR

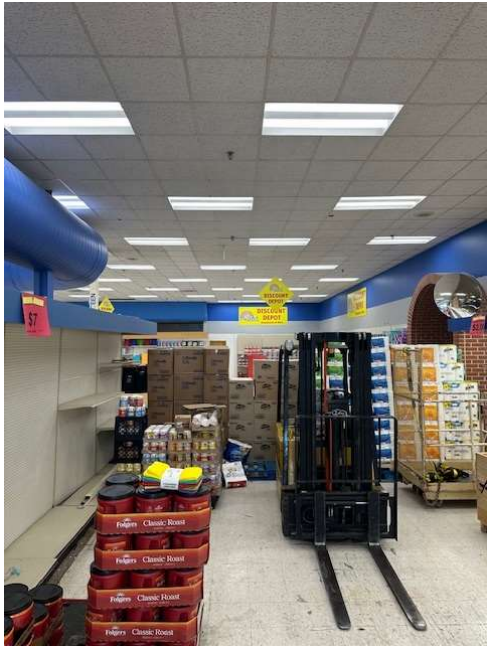


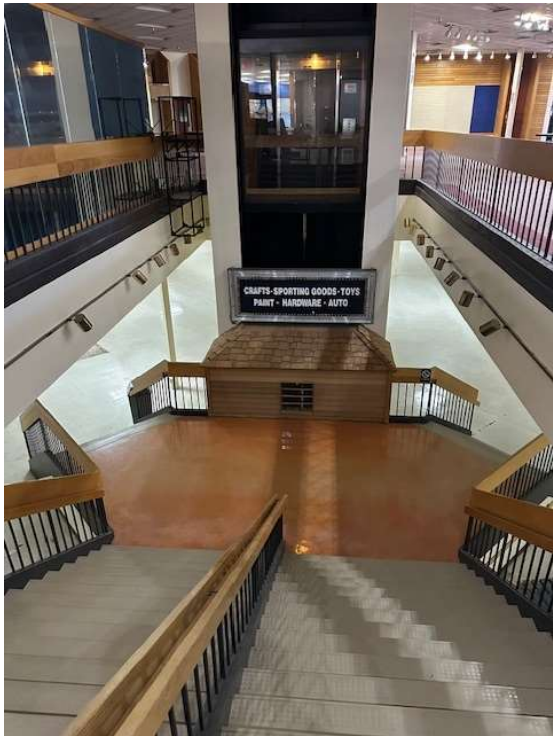
SITE PLAN - 2ND FLOOR



Exterior and Interior Photos of the Site









Sec. 34-404(9) *Standards for self-service storage facilities*

(a) Site plan:

- (i) The plan shall be drawn at a scale of one inch equals 20 feet. Said plan shall include all building locations, drives, parking, fencing and signage. A landscape plan shall also be incorporated as part of the submittal and must be included as part of the site plan or submitted on a separate sheet. Building elevation shall also be included on the plan along with specification of the colors of buildings and materials to be used.
- (ii) Site drainage shall be incorporated in the plan so that storm water run-off from the site will not increase as a result of the proposed development. The facility shall be designed to control the storm water run-off from at least 25-year return frequency storm as certified by the City Engineer.

(b) Minimum site areas: None.

(c) Building setbacks shall be the same as in the C-3 District.

(d) The site shall abut and have direct access to a city street.

(e) Other requirements:

- (i) The storage facility shall be enclosed by a six foot high, sight-proof fence whenever the site abuts residentially zoned or developed property. Said fence, when abutting any residential district, shall be solid or semi-solid and constructed to prevent the passage of debris or light, and constructed of either brick, stone, masonry units, wood or similar materials. Chain-link fence may be used so long as it has slats installed to prevent the passage of light through the unit. The side and rear of a building located upon the site may serve as fencing.
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- (vi) A sign shall be limited to one ground pole sign at the entrance to the premises. Not more than 32 square feet in area shall be permitted with a maximum height of ten feet.
- (vii) All exterior lighting shall be of cut-off type to prevent off-site glare. Each tenant storage space shall be provided with separate interior lighting.
- (viii) All storage shall be kept within an enclosed building.
- (ix) Loading docks shall be prohibited and loading areas to storage bays shall be at the same elevation as the means of vehicular access thereto.

(f) Commercial activity: It shall be unlawful for any owner, operator or lessee of any self-service storage facility or portion thereof to offer for sale, or to sell any item of personal property or to conduct any type of commercial activity of any kind whatsoever, other than leasing of the

storage units, or to permit same to occur upon any area designated as a self-service storage facility. Violation of this section shall be subject to the provisions of [Section 34-804](#) of the Hastings City Code. Any violation may be cause for revocation of the conditional use permit by the City Council.

- (g) Repair, reconditioning and fabrication prohibited:
 - (i) Because of the danger from fire or explosion caused by the accumulation of vapors from gasoline, diesel fuel, paint, paint remover and other flammable materials, the repair, construction, or reconstruction of any boat, engine, motor vehicle, or furniture, and the storage of any propane or gasoline storage tank is prohibited within or outside any structure on a tract of land designated as a self-service storage facility.
 - (ii) This provision shall be posted and be included in the tenant lease agreement.
- (h) An approved plan shall be valid for a period of 24 months following the date of approval by the Council. If construction has not been started within said 24-month period, the plan shall be null and void unless the time for start of construction has been extended by the Council.



HASTINGS

Nebraska



File No.

2025-82

Project

Public hearing to consider a request for a Conditional Use Permit for a self-service, storage facility in a portion of the existing building at 1115 W. 2nd Street

Applicant

B & R Stores, Inc.

N BRIGGS AVE

N SAUNDERS AVE

W 2ND ST

W 2ND ST

W 2ND ST

W 2ND ST

W 2ND ST



N BELLEVUE AVE

W 1ST ST

W 1ST ST

W 1ST ST





Staff Findings Summary

- The proposed use should not generate more vehicular traffic or impact pedestrian travel compared to its past and current uses.
- Utilities are available to serve the new proposed use and are an economical use of the existing infrastructure.
- No noise, fumes, dust or other environmental pollution should be generated from the self-service storage facility that would impact the surrounding area.
- The proposed use maintains a logical and efficient development pattern in the area
- The proposed use will maintain property values in the area.
- All additional requirements for a self-service storage facility have been met or are not applicable because it is within an existing building on a fully developed site

Staff Recommendation

Staff recommends the Planning Commission **APPROVE** the **CONDITIONAL USE PERMIT** for the creation of a self-service storage facility at 1115 West 2nd Street, in the I-1, Light Industrial District, with the following conditions:

1. The proposed facility must be developed as proposed.
2. All applicable permits must be acquired before construction.
3. All applicable requirements of Sec. 34-404(9) will be followed.
4. This conditional use permit is valid 24 months, per Sec. 34-404(9)(h).
5. The proposed facility will not be expended, unless an amended conditional use permit is approved by the City Council.



HASTINGS

Nebraska

Department: Development Services
Staff Contact: Ember Batelaan
Planning Commission Meeting Date: 3/18/2025
File No: 2025-86
Prepared By: Chad Bunger, Director of Development Services

AGENDA ITEM SUMMARY SHEET

Description of Item:

The Hastings Community Redevelopment Authority, on behalf of Brant Rentals, LLC, has applied for a Redevelopment Plan Modification 2025-1 in Area #1 for the Brant Rentals 811 W. 1st Redevelopment Project. The Redevelopment Plan Modification is to demolish an existing building and develop a new commercial building on a parcel generally located southwest of the intersection of West 1st Street and North Lincoln Avenue, on the west side of North Lincoln Avenue.

The applicant has requested the use of tax increment financing (TIF) to pay for eligible expenses for the development, which can include acquisition, site preparation, and infrastructure improvements.

Names of People/Business affected by this action:

The applicant, the people of Hastings, the Community Redevelopment Authority, and the City

Why Planning Commission action is required:

Prior to recommending a redevelopment plan to the governing body for approval, an authority shall submit such plan to the planning commission or board of the city in which the redevelopment project area is located for review and recommendations as to its conformity with the general plan for the development of the city as a whole. The planning commission or board shall submit its written recommendations with respect to the proposed redevelopment plan to the authority within thirty days after receipt of the plan for review. Upon receipt of the recommendations of the planning commission or board or, if no recommendations are received within such thirty days, then without such recommendations, an authority may recommend the redevelopment plan to the governing body of the city for approval (N.R.S. 18-2112)

Type of action requested:

Motion

Suggested motion:

Deadlines associated with action:

The City Council is scheduled to review this Redevelopment Plan Modification on April 14, 2025.

Department head comments:

Development Services staff have reviewed the application for the Brant Rentals 811 W. 1st Redevelopment Project and Redevelopment Plan Modification 2025-1 of Area #1. The complete details of the staff review and recommendation are in the attached staff report.

Recommendation:

Staff recommends the Planning Commission recommend **APPROVAL** to the City Council for the request for a **REDEVELOPMENT PLAN MODIFICATION** for the Brant Rentals 811 W. 1st Redevelopment Project, generally located southwest of the intersection of West 1st Street and North Lincoln Avenue, on the west side of North Lincoln Avenue, based on the findings in the staff report and the Redevelopment Plan Modification materials.

**PLAN MODIFICATION NO. 2025-1
TO REDEVELOPMENT AREA #1
(Brant Rentals 811 W. 1st Redevelopment Project)**

The Community Redevelopment Authority (CRA) of the City of Hastings intends to amend the Redevelopment Plan for Area #1 within the city, pursuant to the Nebraska Community Development Law (the "Act") and provide for a specific redevelopment project involving a commercial development to be located southwest of the intersection of 1st Street and Lincoln Avenue at 811 W. 1st Street.

Executive Summary:

Project Description

The Project consists of the demolition of an existing substandard building and the redevelopment and construction of a new 4,800 square foot single story commercial building on a parcel of land located at 811 W. 1st Street. Brant Rentals, LLC proposes a commercial development project that will include the acquisition of the project site and development of up to three commercial spaces.

The Project shall utilize the benefits of the Nebraska Community Development Law, including the use of tax increment financing for eligible costs which shall include, but not be limited to:

- Site acquisition costs
- Demolition, site preparation and site grading
- Architectural and engineering costs
- Public parking and sidewalks

The Brant Rentals 811 W. 1st Redevelopment Project will encounter these costs at this Redevelopment Area and the Project is not financially feasible without the use of tax increment financing.

TAX INCREMENT FINANCING TO PAY FOR ACQUISITION AND OTHER TIF ELIGIBLE PUBLIC IMPROVEMENTS WILL COME FROM THE FOLLOWING REAL PROPERTY:

Property Description (the "Redevelopment Project Area")

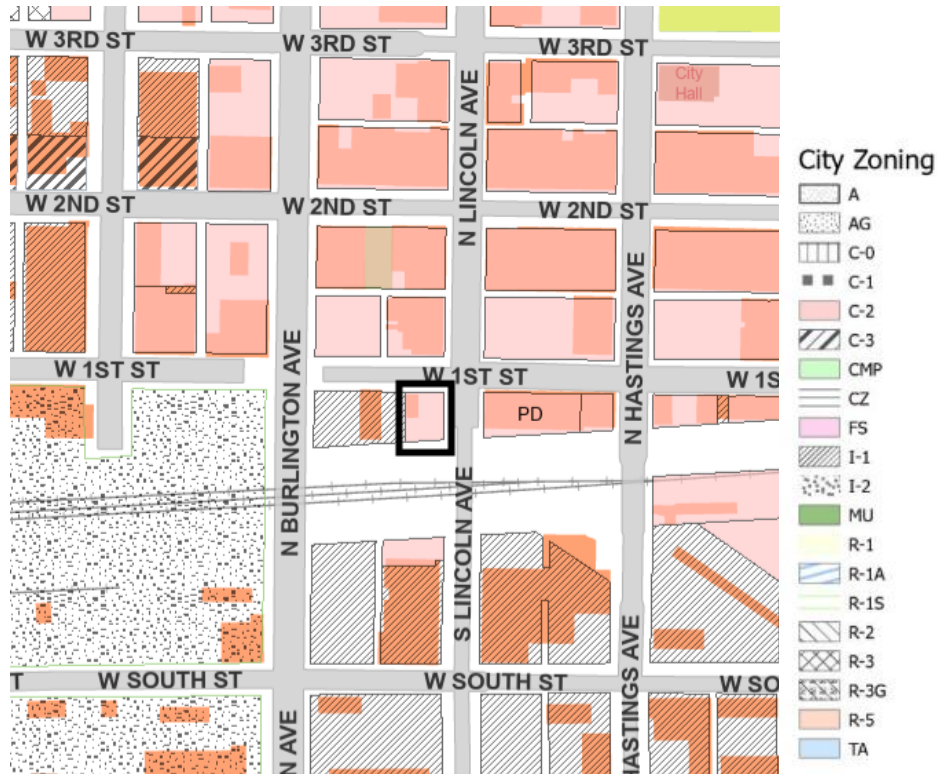
A parcel of land located west of Lincoln Avenue and south of 1st Street, aka 811 W. 1st

Legal Descriptions: The West Sixteen (16) feet of Lot Three (3), and the East Twelve (12) feet of Lot Four (4), Buchanan's Subdivision of Lot Five (5), John's Addition to the City of Hastings, Adams County, Nebraska, according to the recorded plat thereof;

and

All of Lot One (1) and Lot Two (2), and the East Six (6) feet of Lot Three (3), Buchanan's Subdivision of Lot Five (5), John's Addition to the City of Hastings, Adams County, Nebraska, according to the recorded plat thereof

Map of Existing Land Use and Proposed Redevelopment Site



The real property ad valorem taxes on the base valuation will continue to be paid to the other taxing entities. The increase in value will come from the redevelopment of the Project Site to construct a new commercial building with up to three commercial spaces in the C-2 Commercial zoning district. The tax increment will be captured for the tax years 2026 through 2040 inclusive. Provided, however, if there is no increase in valuation for the 2026 tax year, the increment will be captured beginning in the year when an increase in value is available for capture and ending fifteen years later. Initial project costs for the Brant Rentals 811 W. 1st Project for the “white box” portion of the redevelopment are estimated to be approximately \$500,000 which includes the cost of acquisition and site development. Tenant finishes are projected to be an additional \$200,000 for a final project cost of \$700,000. The project valuation when completed is estimated to be \$520,000 and the developer projects an incremental valuation increase of approximately \$439,649.

Statutory Pledge of Taxes.

In accordance with Section 18-2147 of the Act and the terms providing for the issuance of the TIF Note, the Authority hereby provides that any ad valorem tax on the Brant Rentals 811 W. 1st Redevelopment Project Area for the benefit of any public body be divided for a period of fifteen years after the effective date of this provision as set forth in the Redevelopment Contract, consistent with this Redevelopment Plan. Said taxes shall be divided as follows:

- a) That portion of the ad valorem tax which is produced by levy at the rate fixed each year by or for each public body upon the redevelopment project valuation shall be paid into the funds, of each such public body in the same proportion as all other taxes collected by or for the bodies; and
- b) That portion of the ad valorem tax on real property in the redevelopment project in excess of such amount, if any, shall be allocated to and, when collected, paid into a special fund of the Authority to pay the principal of; the interest on, and any premiums due in connection with the bonds, loans, notes, or advances on money to, or indebtedness incurred by, whether funded, refunded, assumed, or otherwise, such Authority for financing or refinancing, in whole or in part, a redevelopment project. When such bonds, loans, notes, advances of money, or indebtedness including interest and premium due have been

paid, the Authority shall so notify the County Assessor and County Treasurer and all ad valorem taxes upon real property in such redevelopment project shall be paid into the funds of the respective public bodies.

Pursuant to Section 18-2150 of the Act, the ad valorem tax so divided is hereby pledged to the repayment of loans or advances of money, or the incurring of any indebtedness, whether funded, refunded, assumed, or otherwise, by the CRA to finance or refinance, in whole or in part, the redevelopment project, including the payment of the principal of, premium, if any, and interest on such bonds, loans, notes, advances, or indebtedness.

Redevelopment Plan Amendment Complies with the Act:

The Community Development Law requires that a Redevelopment Plan and Project consider and comply with a number of requirements. This Plan Amendment meets the statutory qualifications as set forth below.

- 1. The Redevelopment Project Area was first declared blighted and substandard by action of the Hastings City Council on March 23, 1987 (Resolution No. 1069). In September of 2017 a blight and substandard study was completed and the area was re-declared blighted and substandard by action of the Hastings City Council on November 13, 2017. (§18-2109) Such declaration was made after a public hearing with full compliance with the public notice requirements of §18-2115 of the Act,**
- 2. Conformation to the General Plan for the Municipality as a whole. (§18-2103 /13) (a) and §18-2110)**

Hastings adopted a Comprehensive Plan on February 24, 2009 and intends to adopt a new comprehensive Plan in March of 2025. This redevelopment plan amendment and project are consistent with the 2009 Comprehensive Development Plan and with the 2025 Comprehensive Development Plan, in that no changes in the Comprehensive Development Plan elements are intended. The plan amendment merely provides funding for the developer to construct a speculative commercial space on this property as defined by the current and future effective zoning regulations. The Hastings Planning Commission will hold a public hearing at their meeting on March 18, 2025 to review Plan Modification No. 2025-1 to Redevelopment Plan No. 1 confirming that this project is consistent with the 2009 Comprehensive Development Plan and the 2025 Comprehensive Development Plan for the City of Hastings.

- 3. The Redevelopment Plan must be sufficiently complete to address the following items: (§18-2103/13) (b)**
 - a. Land Acquisition:**

The Redevelopment Plan for Area #1 provides for real property acquisition and this plan amendment does not prohibit such acquisition. Brant Rentals, LLC intends to acquire the property on which the Project will be constructed.

- b. Demolition and Removal of Structures:**

The site has a vacant commercial office building which will be demolished to accommodate the project site development. The building has been vacant for over one year and no relocation costs are included as a part of this project.

- c. Future Land Use Plan**

See the attached maps from the 2009 Hastings Comprehensive Development Plan and the 2025 Comprehensive Redevelopment Plan. The Project Site is identified as “Mixed Use - Downtown” in the 2009 Comprehensive Development Plan and identified as “Downtown Commercial” in the 2025 Comprehensive Development Plan

which are both consistent with this Amendment. The site is planned for commercial development and ancillary uses of the area after redevelopment as required by Section 18-2111(5) of the Nebraska Community Development Law. The Brant Rentals 811 W. 1st project will add new speculative commercial space to the site.

Future Land Use Map – 2009 Comprehensive Plan



Future Land Use Map – 2025 Comprehensive Plan



d. Changes to zoning, street layouts and grades or building codes or ordinances or other planning changes

The project area is currently zoned for commercial use under the C-2 Commercial District. The Project Site Plan reflects that no changes to zoning, street layouts are required. No changes are anticipated in building codes or ordinances, nor are any other planning changes contemplated. [§18-2103(b) and §18-2111] other than as described herein.

e. Site Coverage and intensity of Use

The developer intends to construct speculative commercial space which will add unique commercial rental opportunities to the City of Hastings. The Brant Rentals 811 W. 1st Project will contain up to three speculative commercial spaces which density is approved for this Development.

f. Additional Public Facilities or Utilities

Sewer, water and street paving already exist to support this redevelopment of the site. Sufficient electric utilities and gas lines also exist which currently serve the existing site. The redeveloper will be responsible for installing any sidewalks required for the project. No other utilities would be impacted by the development. [§18-2103(b) and §18-2111]. The redeveloper intends to construct new parking to serve the occupants of the Project.

4. **The Act requires a Redevelopment Plan provide for relocation of individuals and families displaced as a result of plan implementation.** The commercial office structure located on the site is vacant. There are no individuals or families who will be displaced by the Project.
5. **No member of the Authority, nor any employee thereof holds any interest in any property in this Redevelopment Project Area. [§18-2106].** No members of the authority or staff of the CRA have any interest in this property.

6. Section 18-2114 of the Act requires that the Authority consider:

1. Method and cost of acquisition and preparation for redevelopment and estimated proceeds from disposal to redevelopers.

The developer intends to purchase the property from the current owner for \$95,000 and acquisition is part of the request for tax increment financing. The CRA has been asked to provide \$80,000 in TIF funding to this project to offset the cost of TIF eligible expenditures. The CRA has identified the following TIF eligible expenses for the developers' proposed improvements;

- a) site acquisition - \$95,000
- b) demolition and site preparation - \$15,000
- c) parking and public sidewalks - \$30,000
- d) planning related & engineering services - \$10,000

The total TIF eligible expenses for this project are \$150,000. The property will be transferred to the redevelopers by the owner and the developer will provide and secure all necessary financing.

2. Statement of proposed method of financing the redevelopment project.

The developer will provide all necessary financing for the project including owner equity and bank financing. The Authority will assist the project by granting the sum of \$80,000 from the proceeds of the TIF. This indebtedness will be repaid from the Tax Increment Revenues generated from the project. TIF revenues shall be made available to repay the original debt and associated interest after January 1, 2026 through December 2040. While the development costs are estimated to be \$700,000, the actual cost of development shall be determined following the completion of design and bidding of the Project.

3. Statement of feasible method of relocating displaced families.

No families will be displaced as a result of this plan.

7. Section 18-2113 of the Act requires:

Prior to recommending a redevelopment plan to the governing body for approval, an authority shall consider whether the proposed land uses and building requirements in the redevelopment project area are designed with the general purpose of accomplishing, in conformance with the general plan, a coordinated, adjusted, and harmonious development of the city and its environs which will, in accordance with present and future needs, promote health, safety, morals, order, convenience, prosperity, and the general welfare, as well as efficiency and economy in the process of development, including, among other things, adequate provision for traffic, vehicular parking, the promotion of safety from fire, panic, and other dangers, adequate provision for light and air, the promotion of the healthful and convenient distribution of population, the provision of adequate transportation, water, sewerage, and other public utilities, schools, parks, recreational and community facilities, and other public requirements, the promotion of sound design and arrangement, the wise and efficient expenditure of public funds, and the prevention of the recurrence of insanitary or unsafe dwelling accommodations or conditions of blight.

The Authority has considered these elements in proposing this Plan Amendment. This amendment, in and of itself will promote consistency with the 2009 Hastings Comprehensive Development Plan and the 2025 Comprehensive Development Plan by providing the following benefits;

- Continuing to maximizing development potential downtown and
- Removal of a substandard and aging structure; and
- Provide sites for commercial and development.

8. Time Frame for Development

Development of the Brant Rentals 811 W. 1st Project is anticipated to be commenced in the 2nd quarter of 2025 and construction is anticipated to be complete in the 3rd quarter of 2025. Excess valuation should be available for this project for 15 years beginning with the 2026 tax year, provided, however, if there is no increase in valuation for the 2026 tax year, the excess valuation will be available beginning in the year when an increase in value is available for capture.

9. Justification of Project

Demolition of an existing substandard structure, site preparation, and construction of a new modern building are necessary to facilitate redevelopment of this site. The redevelopment of this property will result in increased commercial opportunities and increased sales tax and is another positive step in the redevelopment of Downtown Hastings. The Community Redevelopment Authority and the Hastings City Council have made it clear with previous decisions that they support development that will increase additional commercial and retail opportunities.

10. Cost Benefit Analysis

Section 18-2113 of the Act, further requires the Authority conduct a cost benefit analysis of the Plan Modification in the event that Tax Increment Financing will be used. This analysis must address specific statutory issues.

As authorized in the Nebraska Community Development Law, §18-2147, Neb. Rev. Stat. (2012), the City of Hastings has analyzed the costs and benefits of the proposed Redevelopment Project, including:

Project Sources and Uses.

Approximately \$80,000 in public funds from tax increment financing will be required to complete the commercial development for the Brant Rentals 811 W. 1st Project. This investment by the Authority will leverage approximately \$620,000 in private and public sector financing; an investment of \$8.75 for every TIF dollar investment.

USE OF FUNDS		SOURCE OF FUNDS	
Site Acquisition	\$95,000	Bank Financing	\$320,000
Demolition & Site Development	\$15,000	Owner Equity	\$100,000
Engineering & Architecture	\$10,000	TIF Loan	\$80,000
Public Parking & Sidewalks	\$30,000	Leasehold Improvements	\$200,000
Exterior Construction	\$350,000		
Tenant Improvements	\$200,000		
TOTALS	\$700,000	TOTALS	\$700,000

Tax Revenue. The land to be redeveloped has a 2024 valuation of \$80,351. Based on the 2024 levy rate of 1.996872, this valuation would result in real property taxes of approximately \$1,605 which will be paid out to all the existing taxing entities. It is anticipated that the assessed value will increase by approximately \$439,649 upon full completion, as a result of the site redevelopment of the Brant Rentals 811 W. 1st Project. This development will result in an additional estimated tax increase of over \$8,780 annually. This tax increment gained from the Project Area would not be available for use as city general tax revenues, for a period of 15 years, or such shorter time as may be required to amortize the TIF bond, but would be used for eligible redevelopment costs to enable this project to be realized.

2024 assessed value: \$80,351

Annual City portion of property taxes	\$317.23
Estimated value after completion	\$520,000
Increment value	\$439,649
Annual TIF generated (estimated)	\$8,780
Increased taxes not available to City	\$1,735.77
Increased taxes not available to County	\$1,530.03

Statement Identifying Financial Gap and Necessity for use of Tax Increment Financing for proposed Project:

A large financial gap exists on this project after conventional financing is utilized. A combination of owner equity, TIF and tenant leasehold improvements are needed to make the project feasible. The developer is contributing owner equity and other financing of \$620,000 and TIF funding is intended to fill the remaining gap, making this project feasible. The project is asking for \$80,000 in a TIF loan amortized over 15 years. The developer’s financial institution has stated that the loan approval is subject to the approval of TIF funding and without TIF it would not be feasible for the developer to proceed with this redevelopment. Please see the table below which shows rate of returns from -3.32% to -.83% without TIF funding which is an unacceptable return on investment in today’s market. The second table shows rates of returns from 5.31% to 7.8% with TIF funding.

Proforma Operating Statement w/o TIF					
		Year 1	Year 2	Year 3	Year 4
Rent Revenue		\$ 61,152	\$ 62,375	\$ 63,623	\$ 64,895
Expenses		\$ (21,330)	\$ (21,737)	\$ (22,152)	\$ (22,576)
NOI Without TIF		\$ 39,822	\$ 40,638	\$ 41,471	\$ 42,319
Debt Service		\$ (43,144)	\$ (43,144)	\$ (43,144)	\$ (43,144)
Cash Flow Without TIF		\$ (3,322)	\$ (2,506)	\$ (1,673)	\$ (825)
Cash on Cash Return		-3.32%	-2.51%	-1.67%	-0.83%
Owner Equity		\$100,000	\$100,000	\$100,000	\$100,000

Proforma Operating Statement with TIF					
		Year 1	Year 2	Year 3	Year 4
Rent Revenue		\$ 61,152	\$ 62,375	\$ 63,623	\$ 64,895
Expenses		\$ (21,330)	\$ (21,737)	\$ (22,152)	\$ (22,576)
NOI With TIF		\$ 39,822	\$ 40,638	\$ 41,471	\$ 42,319
Debt Service		\$ (34,515)	\$ (34,515)	\$ (34,515)	\$ (34,515)
Cash Flow With TIF		\$ 5,307	\$ 6,123	\$ 6,956	\$ 7,804
Cash on Cash Return		5.31%	6.12%	6.96%	7.80%
Owner Equity		\$ 100,000	\$ 100,000	\$ 100,000	\$ 100,000

(a) Tax shifts resulting from the approval of the use of Tax Increment Financing;

The proposed redevelopment will create additional valuation of \$439,649. No additional tax shifts are anticipated from the project. The project creates new valuation from the construction of a 4,800 square foot commercial building that will support taxing entities long after the project tax increment financing indebtedness is paid off.

(b) Public infrastructure and community public service needs impacts and local tax impacts arising from the approval of the redevelopment project;

The site is currently served by municipal services including water and sanitary sewer. Those services will continue following the completion of the Project. Fire and police protection are available and should not be negatively impacted by this development.

(c.) Impacts on employers and employees of firms locating or expanding within the boundaries of the area of the redevelopment project; and

This project will not have a negative impact on employers and employees of firms locating within the boundaries of Redevelopment Area #1. The Project will provide additional commercial rental opportunities for existing and potential new businesses which may attract additional employment. Speculative commercial space can be a driver for economic development.

(d) Impacts on other employers and employees within the city or village and the immediate area that are located outside of the boundaries of the area of the redevelopment project; and

This project could have a positive impact on local employers and employees as businesses looking for retail and office space have indicated that there is a shortage of quality space available. The addition of new commercial space in the community may be a benefit to local employers by providing commercial space options.

(e) Impacts on student populations of school districts within the City or Village:

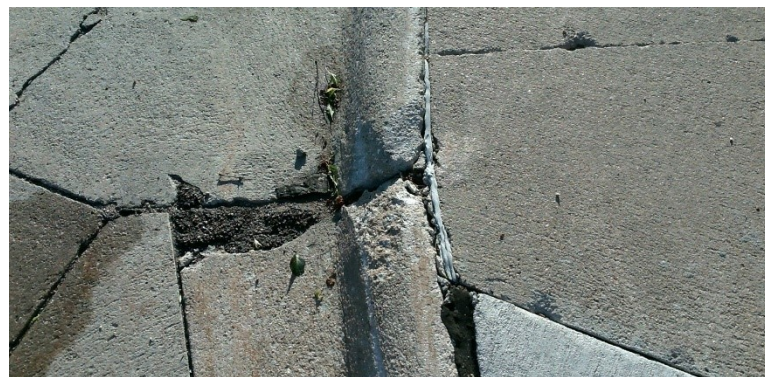
This development will have no impact on the Hastings area school systems as it will result in no increased attendance.

(f) Any other impacts determined by the authority to be relevant to the consideration of costs and benefits arising from the redevelopment project.

This project is consistent with the goals of the Downtown Business Improvement District and the Community Redevelopment Authority to remove or rehabilitate substandard structures, increase the valuation of the core area and continue the revitalization efforts of Downtown Hastings.

Time Frame for Development

The Brant Rentals 811 W. 1st Project is anticipated to be developed commencing in the 2nd quarter of 2025 and be substantially completed and ready for occupancy by the 3rd quarter of 2025.



Hastings, Nebraska Area 1 Blight and Substandard Study

September 2017

Prepared for: City of Hastings, Nebraska CRA

Prepared by:



PURPOSE OF THE BLIGHT AND SUBSTANDARD STUDY

The purpose of completing this Blight and Substandard study is to examine existing conditions within a specific part of Hastings. This study has been commissioned by Hastings CRA in order to analyze the possibility of declaring the area as blighted and substandard.

The City of Hastings, when considering conditions of Blight and Substandard, will be looking at those issues and definitions provided for in the Nebraska Community Redevelopment Law as found in Chapter 18, Section 2104 of the Revised Nebraska State Statutes, as follows:

“The governing body of a city, to the greatest extent it deems to be feasible in carrying out the provisions of Sections 18-2101 to 18-2144, shall afford maximum opportunity, consistent with sound needs of the city as a whole, to the rehabilitation or redevelopment of the community redevelopment area by private enterprises. The governing body of a city shall give consideration to this objective in exercising its powers under sections 18-2101 to 18-2144, including the formulation of a workable program, the approval of community redevelopment plans consistent with the general plan for the development of the city, the exercise of its zoning powers, the enforcement of other laws, codes, and regulations relating to the use and occupancy of buildings and improvements, the disposition of any property acquired, and providing of necessary public improvements”.

The Nebraska Revised Statutes §18-2105 continues by granting authority to the governing body for formulation of a workable program. The statute reads,

“The governing body of a city or an authority at its direction for the purposes of the Community Development Law may formulate for the entire municipality a workable program for utilizing appropriate private and public resources to eliminate or prevent the development or spread of urban blight, to encourage needed urban rehabilitation, to provide for the redevelopment of substandard and blighted areas, or to undertake such of the aforesaid activities or other feasible municipal activities as may be suitably employed to achieve the objectives of such workable program. Such workable program may include, without limitation, provision for the prevention of the spread of blight into areas of the municipality which are free from blight through diligent enforcement of housing, zoning, and occupancy controls and standards; the rehabilitation or conservation of substandard and blighted areas or portions thereof by replanning, removing congestion, providing parks, playgrounds, and other public improvements by encouraging voluntary rehabilitation and by compelling the repair and rehabilitation of deteriorated or deteriorating structures; and the clearance and redevelopment of substandard and blighted areas or portions thereof.”

Blight and Substandard are defined as the following:

“Substandard areas means an area in which there is a predominance of buildings or improvements, whether nonresidential or residential in character, which, by reason of dilapidation, deterioration, age or obsolescence, inadequate provision for ventilation, light, air, sanitation, or open spaces, high density of population and overcrowding, or the existence of conditions which endanger life or property by fire and other causes, or any combination of such factors, is conducive to ill health, transmission of disease, infant mortality, juvenile delinquency, and crime, (which cannot be remedied through construction of prisons), and is detrimental to the public health, safety, morals, or

welfare;”

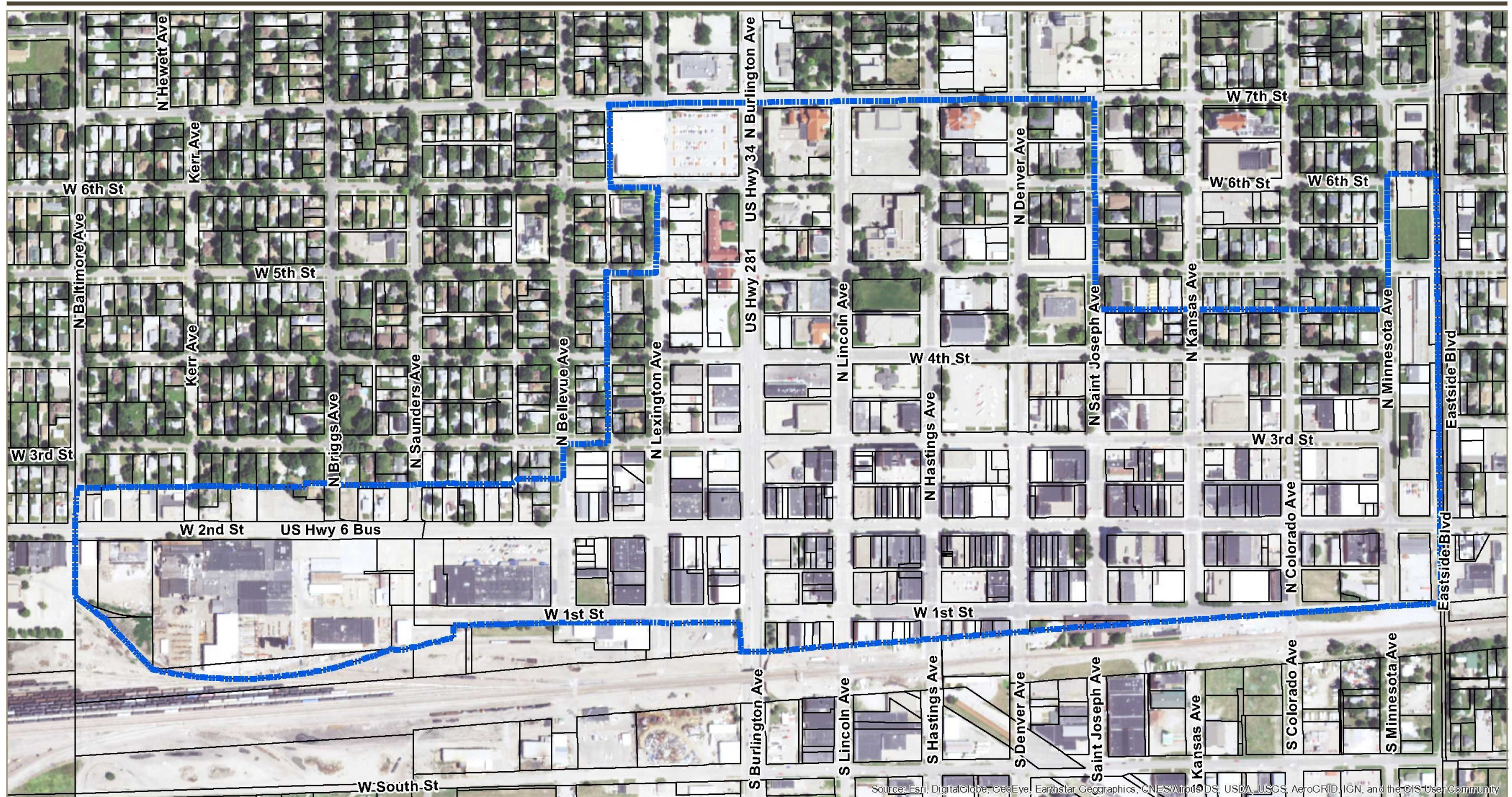
“Blighted area means an area, which (a) by reason of the presence of a substantial number of deteriorated or deteriorating structures, existence of defective or inadequate street layout, faulty lot layout in relation to size, adequacy, accessibility, or usefulness, insanitary or unsafe conditions, deterioration of site or other improvements, diversity of ownership, tax or special assessment delinquency exceeding the fair value of the land, defective or unusual conditions of title, improper subdivision or obsolete platting, or the existence of conditions which endanger life or property by fire and other causes, or any combination of such factors, substantially impairs or arrests the sound growth of the community, retards the provision of housing accommodations, or constitutes an economic or social liability and is detrimental to the public health, safety, morals, or welfare in its present condition and use and (b) in which there is at least one of the following conditions: (i) Unemployment in the designated area is at least one hundred twenty percent of the state or national average; (ii) the average age of the residential or commercial units in the area is at least forty years; (iii) more than half of the platted and subdivided property in an area is unimproved land that has been within the city for forty years and has remained unimproved during that time; (iv) the per capita income of the area is lower than the average per capita income of the city or village in which the area is designated; or (v) the area has had either stable or decreasing population based on the last two decennial censuses. In no event shall a city of the metropolitan, primary, or first class designate more than thirty-five percent of the city as blighted, a city of the second class shall not designate an area larger than fifty percent of the city as blighted, and a shall not designate an area larger than one hundred percent of the as blighted;”

The Study is intended to give the Hastings CRA, Hastings Planning Commission and Hastings City Council the basis for identifying and declaring Blighted and Substandard conditions existing within the City’s jurisdiction and as allowed under Chapter 18, Section 2123.01. Through this process, the City and property owners will be attempting to address economic and/or social liabilities which are harmful to the well-being of the entire community.

The study area can be seen in Figure 1 of this report. A Redevelopment Plan to be submitted in the future containing, in accordance with the law, definite local objectives regarding appropriate land uses, improved traffic, public transportation, public utilities and other public improvements, and the proposed land uses and building requirements in the redevelopment area and shall include:

- The boundaries defining the blighted and substandard areas in question (including existing uses and conditions of the property within the area), and
- A list of the conditions present which qualify the area as blighted and substandard.


Study Area
Figure 1: Study Area Map



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

HASTINGS 2017 BLIGHT AND SUBSTANDARD STUDY - AREA 1

CITY OF HASTINGS
ADAMS COUNTY, NEBRASKA

 Area 1 (160 Acres)

DATA SOURCES:
BASE DATA PROVIDED BY ADAMS COUNTY.
AERIAL IMAGERY PROVIDED BY ESRI.



BLIGHT AND SUBSTANDARD ELIGIBILITY STUDY

This study targets a specific area within an established part of the community for evaluation. The area is indicated in Figure 1 of this report. The existing uses in area include residential uses, commercial uses, industrial uses and public uses including accessory uses within the corporate limits of Hastings.

Through the redevelopment process the City of Hastings can guide future development and redevelopment throughout the area. The use of the Community Redevelopment Act by the City of Hastings is intended to redevelop and improve the area. Using the Community Redevelopment Act, the City can assist in the elimination of negative conditions and implement different programs/projects identified for the City.

The following is the description of the designated area within Hastings.

The study area is defined as follows: the Point of beginning is located at the intersection of the centerlines of 7th Street and North St. Joseph Avenue; thence, southerly along the centerline of North St. Joseph Avenue to the intersection with the centerline of the alley between 5th Street and 4th Street; thence, easterly along said centerline to the intersection with the centerline of North Minnesota Avenue; thence, northerly along said centerline to the extended north property line of a lot referred to Lots 1 and 2 & adjacent 6th Street Block 8 Johnsons Addition; thence, easterly along said property line to the centerline of Eastside Blvd.; thence, southerly along said centerline to the intersection with the northern right-of-way of the Burlington Northern Santa Fe Railroad; thence southwesterly along said northern property line until it intersects with the western right-of-way line of North Burlington Avenue; thence northerly along said right-of-way line until it intersects with the southern right-of-way line of West 1st Street; thence, westerly along said line to intersection with the northeast corner of a lot referred to as Tax Lot 4; thence; southerly along the east property line of Tax Lot 4 to the southeast corner of Tax Lot 4; thence southwesterly along the southern property line of Tax Lot 4 until said property line intersects with a sidetrack; thence, continuing on said sidetrack until intersecting with the east property line of a lot referred to as Tax Lot 11; thence, northerly along said property line and continuing to the centerline of North Baltimore Avenue to the intersection with the north property line of the southern half of the block situated between West 2nd Street and West 3rd Street; thence, easterly along said northern property lines extended northwest corner of Lot 2, Sidlo's Subdivision; thence, continuing along the northern property line of said lot to the intersection with the centerline of North Briggs Avenue; thence southerly along said property line to the extended centerline of an alley contained within McIntyre's Addition; thence easterly along said alley centerline and continuing along the alley centerline between GT Hutchinson's Addition, Birderup's 2nd Addition and Benjamins Addition to the intersection with the alley centerline west of N Bellevue Avenue; thence, northerly to the intersection with the extended south property line of Lot 1, Block 18 of Moore's Addition; thence, easterly along said south property line to the intersection with the centerline of N. Bellevue Avenue; thence, northerly along said centerline to the intersection with the centerline of W. 3rd Street; thence, easterly along said centerline top the intersection with the extended centerline of the alley between N. Bellevue Avenue and N. Lexington Avenue, thence, northerly along said centerline and extending along alley centerlines to the intersection with the centerline of W. 5th Street; thence, easterly along said centerline to the intersection with the centerline of N. Lexington Avenue; thence, northerly along said centerline to the intersection with the centerline of W. 6th Street; thence, westerly along said centerline to the extended centerline of an alley located between N. Lexington Avenue and N. Bellevue Avenue; thence, northerly along said centerline to the intersection of W. 7th Street; thence, easterly to the point of beginning.

EXISTING LAND USES

The term "Land Use" refers to the developed uses in place within a building or on a specific lot of land. The number and type of uses are constantly changing within a community, and produce a number of impacts either benefitting or detracting from the community. Existing patterns of land use are often fixed in older communities and neighborhoods, while development in newer areas is often reflective of current development practices.

Existing Land Use Analysis within Study Area

As part of the planning process, a survey was conducted through both in-field observations, as well as data collection online using the Adams County Assessors website. This survey noted the use of each lot of land within the study area. These data from the survey are analyzed in the following paragraphs.

TABLE 1: EXISTING LAND USE, HASTINGS - 2017

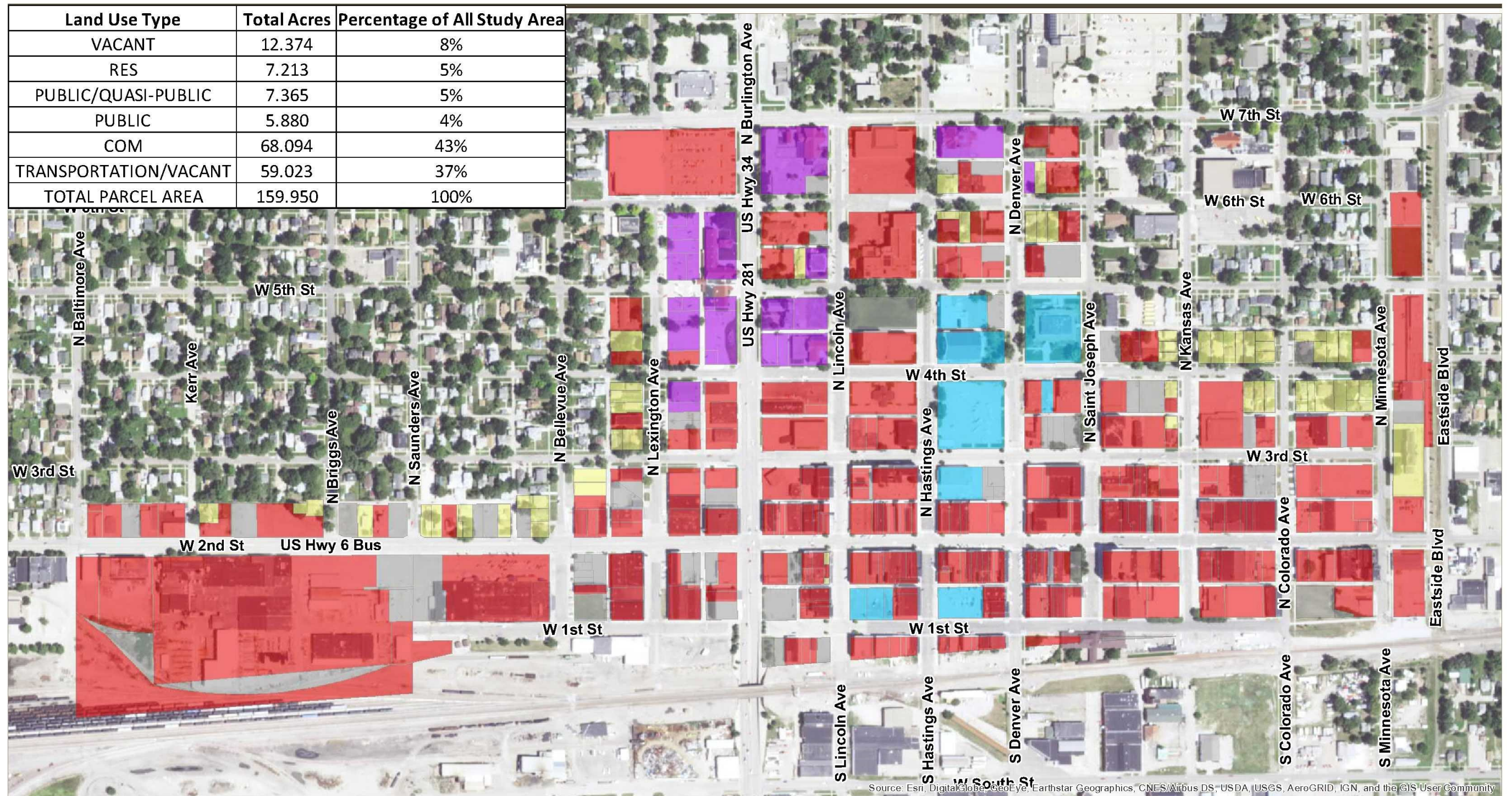
Type of Use	Acres	Percent of Developed land within the Study Area	Percent of Study Area
Residential	7.21	4.9%	4.5%
Commercial	68.10	46.1%	42.6%
Quasi-Public/Public	13.25	9.0%	8.3%
Transportation	59.02	40.0%	36.9%
Total Developed Land	147.58	100.0%	92.3%
Vacant/Agriculture	12.37		7.7%
Total Area	159.95		100.0%

Source: Marvin Planning Consultants 2017

Table 1 includes the existing land uses for the entire study area. The table contains the total acres determined per land use from the survey; next is the percentage of those areas compared to the total developed land; and finally, the third set of data compare the all land uses to the total area within the Study Area. The Study Area is predominately made up of commercial and transportation (including rights-of-way). Commercial uses, according to the Assessor's methods includes all industrial uses. In addition to the Assessor's methods, the definition of Blighted and Substandard only refer to residential and commercial uses. Therefore, 42.6% of the entire area is considered to be commercial uses; while, 36.9% is made up of transportation (streets, alleys, and rights-of-way). Residential uses only make up 4.5% of the entire study area; however, this does not include any above ground level residential dwellings in the downtown area.

Figure 2
Existing Land Use Map

Land Use Type	Total Acres	Percentage of All Study Area
VACANT	12.374	8%
RES	7.213	5%
PUBLIC/QUASI-PUBLIC	7.365	5%
PUBLIC	5.880	4%
COM	68.094	43%
TRANSPORTATION/VACANT	59.023	37%
TOTAL PARCEL AREA	159.950	100%



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

AREA I - EXISTING LAND USE

CITY OF HASTINGS
ADAMS COUNTY, NEBRASKA

- COMMERCIAL
- PUBLIC/QUASI-PUBLIC
- VACANT
- PUBLIC
- RESIDENTIAL

DATA SOURCES:
BASE DATA PROVIDED BY ADAMS COUNTY.
AERIAL IMAGERY PROVIDED BY ESRI.



FINDINGS OF BLIGHT AND SUBSTANDARD CONDITIONS ELIGIBILITY STUDY

This section of the study examines the conditions found in the study area. The Findings Section will review the conditions based upon the statutory definitions.

CONTRIBUTING FACTORS

There were a number of conditions examined and evaluated in the field and online. There are a number of conditions that will be reviewed in detail, on the following pages, while some of the statutory conditions are not present.

Structural Conditions

Structural conditions were evaluated, structures were either rated as: Excellent, Good, Average, Fair, and Poor. The data and rating system comes from the Adams County Assessor's database and is the same database used to value properties in the area.

Based upon the data provided to the planning team, the following is the breakdown for structures in the study area:

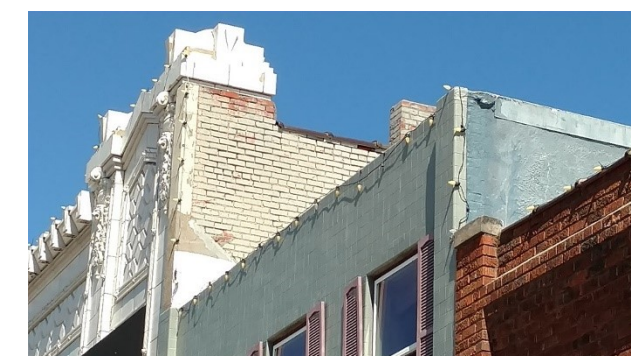
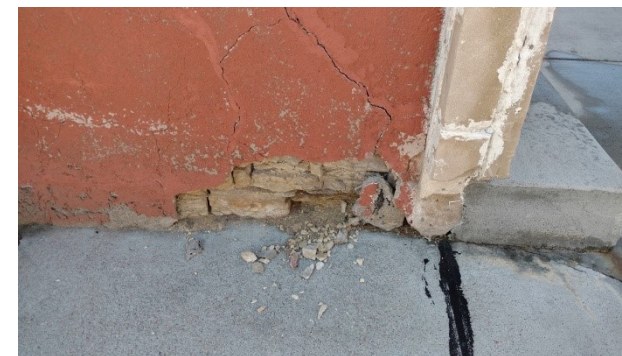
- 2 (0.8%) structures rated as Excellent
- 25 (8.8%) structures rated as Good
- 216 (76.0%) structure rated as Average
- 33 (11.6%) structures rated as Fair
- 8 (2.8%) structure rated as Poor

The different rating terms used in this section are defined as follows:

- Excellent:** Typically newer construction or property that recently has been completely upgraded.
- Good:** Typically no major defects or aging conditions showing up in the physical analysis.
- Average:** Typically minor defects may be showing up, including: degrading roof materials (limited to 25%), masonry joints needing tuckpointed (25% or less), painted surfaces beginning to peel and flake, small cracks in the foundation, broken glass, and other similar conditions.
- Fair:** Similar to Average but conditions are worsening and covering a greater percentage of the structure.
- Poor:** Represents structures likely showing several of the conditions mentioned above as well as the extent of the aging and deterioration is at a point where demolition may be necessary to eliminate the conditions.

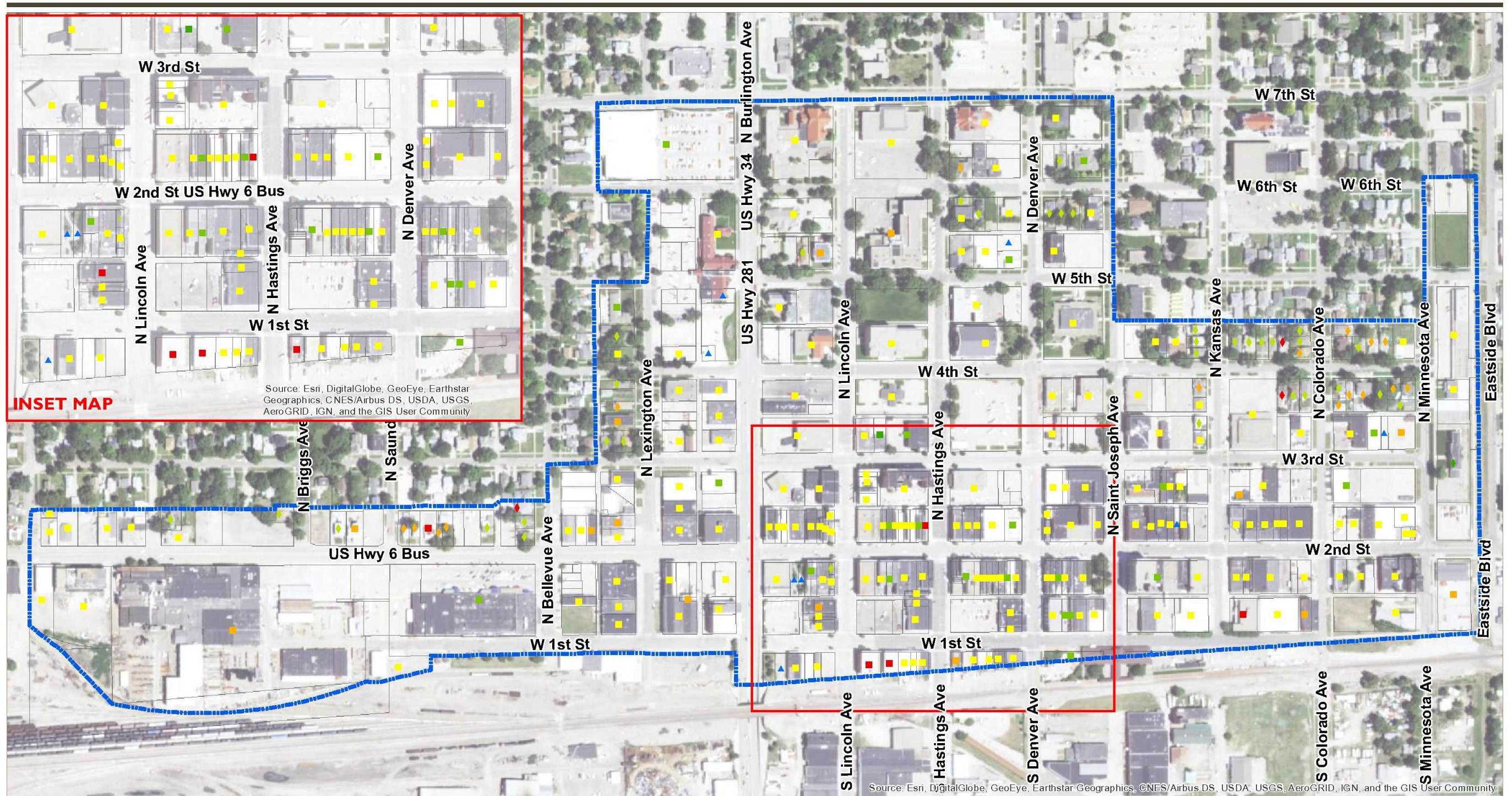
Based upon these data, an assumption has been made that average condition and less would constitute less than desirable conditions due to age and conditions. It is common for older structures to get more maintenance and upkeep in order to maintain a good or higher condition. Even an average structure will show some signs of deteriorating which in turn can become a dilapidated structure in the future if it is not addressed over time. Overall, 90.4% of the structures in this study area are average condition or worse.

Due to the stated conditions found in the Adams County Assessor's data, the condition of the structure is a contributing factor.



Examples of Structural Conditions within the Study Area

Figure 3
Structure Conditions

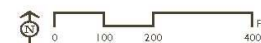


AREA I - CONDITION OF STRUCTURES

CITY OF HASTINGS
ADAMS COUNTY, NEBRASKA

Vacant Buildings	Residential Buildings	Commercial Buildings	Average (173 Structures)
▲ Average (9 Structures)	◆ Good (1 Structure)	◆ Fair (17 Structures)	■ Fair (16 Structures)
	◆ Average (34 Structures)	◆ Poor (3 Structures)	■ Poor (5 Structures)
		■ Excellent (2 Structures)	
		■ Good (24 Structures)	

DATA SOURCES:
BASE DATA PROVIDED BY ADAMS COUNTY.
AERIAL IMAGERY PROVIDED BY ESRI.



Printed by: jpowell File: C:\Users\jpowell\Desktop\Working_MXD\Hastings\NEGIS\MAPS\Hastings NE Blight Study Area_Map_StructureCond.mxd

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Deterioration of Site or Other Improvements

Sidewalk Conditions

Sidewalks, regardless of the area and uses within a community, should provide a safe means of movement for pedestrians. Sidewalks become increasingly more important along transportation routes considered to be arterials and highways. A sidewalk allows for pedestrian movement while keeping people off of heavily traveled streets.

The sidewalk conditions were analyzed in the Study Area. The sidewalks were rated on four categories; good, average, poor, and missing completely. In most cases, if a few panels were showing signs of deterioration and the remaining sections were not newer, than an entire run was deemed to match the areas of concern. Again, average and lower are considered to be undesirable conditions. As with the structural conditions, once a sidewalk begins to deteriorate they will continue to get worse unless specific maintenance or replacement steps are undertaken.

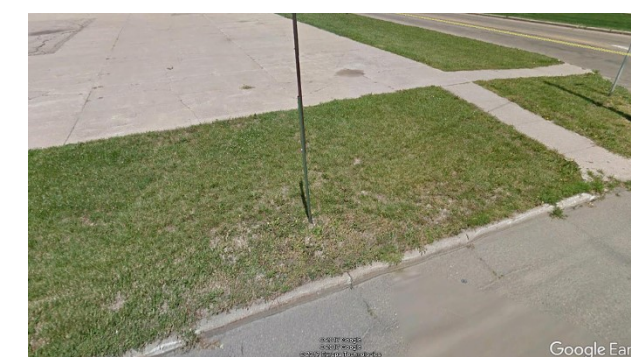
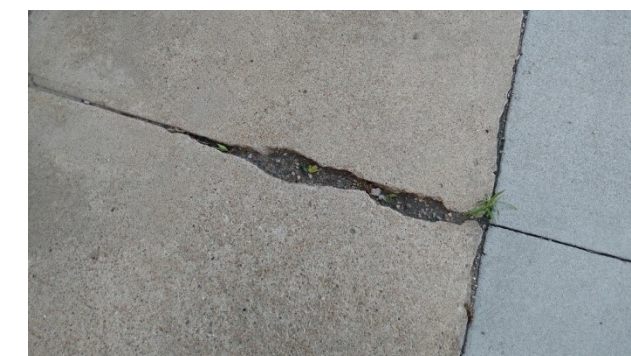
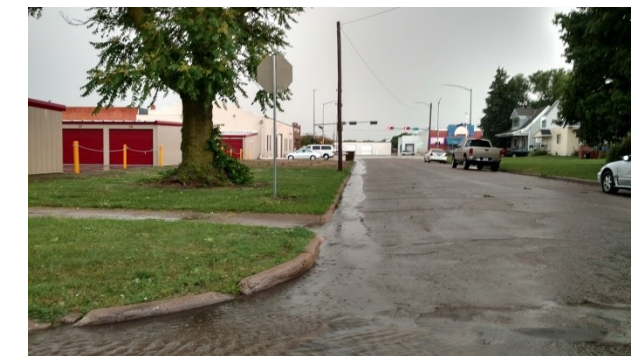
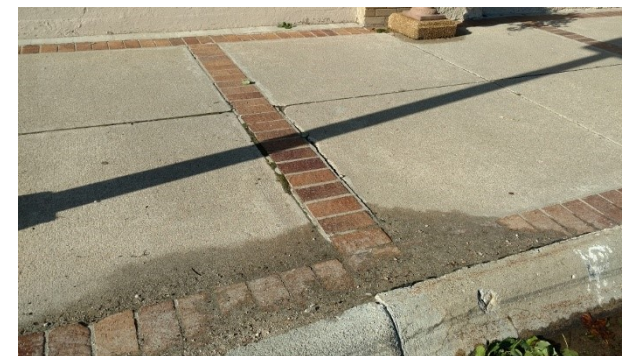
The different rating terms used in this section are defined as follows:

- Good:** Typically no major defects or aging conditions showing up in the physical analysis.
- Average:** Typically minor defects may be showing up, including: stress cracks, slight chipping of concrete edges, small amount of spawling, and slight heaving of a panel.
- Poor:** Represents a sidewalk with considerable issues and is in need of replacement in the near future.
- Missing:** Just as it implies, there is no sidewalk present at that location.

Within the study area there is approximately 56,650 lineal feet of area where sidewalk could or should be located. The lineal feet were determined through some on-site analysis as well as using the 2016 Hastings aeriels and Google Earth with Street View. The following is how the sidewalk conditions breakdown within the study area:

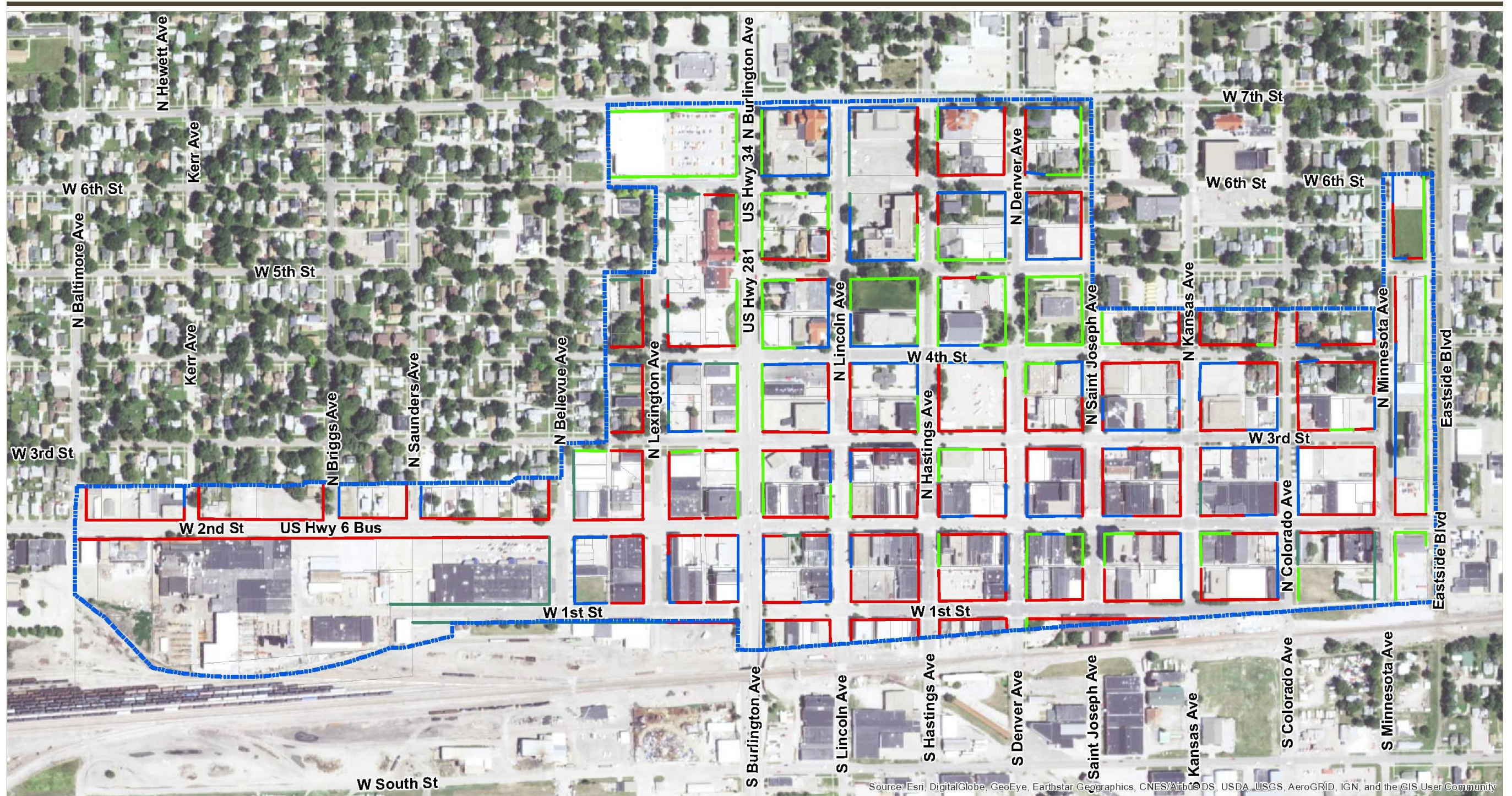
- 12,438 (21.9%) lineal feet of good sidewalk
- 13,120 (23.2%) lineal feet of average sidewalk
- 27,192 (48.0%) lineal feet of poor sidewalk
- 3,890 (6.9%) lineal feet of no sidewalk.

There is only one area which is lacking sidewalk, along 1st Street. Most of the area is directly behind Allen's but continues around the east side of the stores parking lot. Overall, over 78% of the sidewalk in this study area is considered to be average, poor or completely missing. Even if the average sidewalk condition was factored out of the overall calculation, there would be 54.9% of the sidewalk considered poor or missing. Due to this the sidewalk conditions in the Study Area are considered a contributing factor to a condition of Blight.



Examples of Sidewalk Conditions within the Study Area

Figure 4
Sidewalk Conditions



AREA I - SIDEWALK CONDITIONS

CITY OF HASTINGS
ADAMS COUNTY, NEBRASKA

- Good - 12,438 Linear Feet
- Poor - 27,192 Linear Feet
- Average - 13,120 Linear Feet
- Missing - 3,890 Linear Feet

DATA SOURCES:
BASE DATA PROVIDED BY ADAMS COUNTY.
AERIAL IMAGERY PROVIDED BY ESRI.



Deterioration of Site or Other Improvements, continued

Street Conditions

Streets are our primary means for getting from place to place, if they are in a bad state then an area is difficult to access. Streets in the Study Area were examined similarly to sidewalks. The streets were graded as either good, average, poor, or closed.

The street conditions, similar to the sidewalks, were analyzed in the Study Area. The streets were rated on four categories; good, average, poor, and closed. In most cases, if a few panels of concrete were showing signs of deterioration and the remaining sections were not newer, than an entire run was deemed to match the areas of concern. In addition, where there were streets with an asphalt overlay, any spawling, breakups, or other noticeable issues, these were rated accordingly. Again, average to lower conditions were considered to be undesirable. As with the sidewalks conditions, once a street begins to deteriorate it will continue to get worse unless specific maintenance or replacement steps are undertaken.

The different rating terms used in this section are defined as follows:

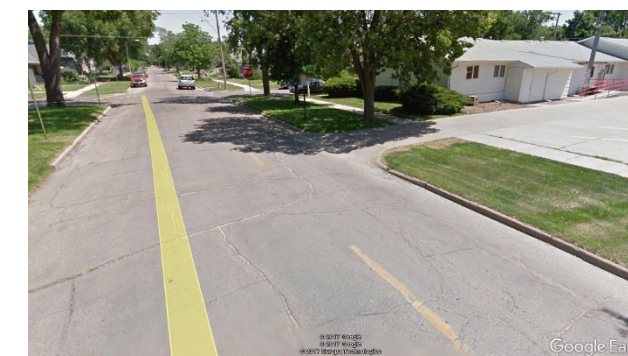
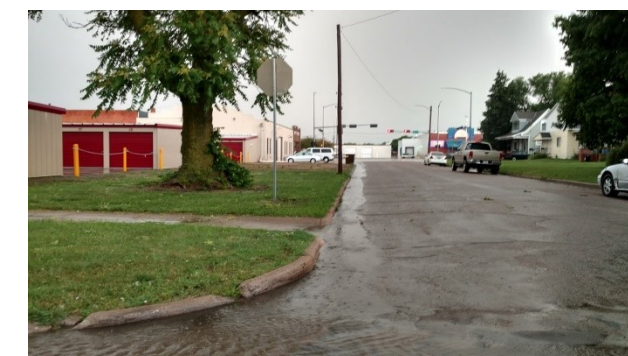
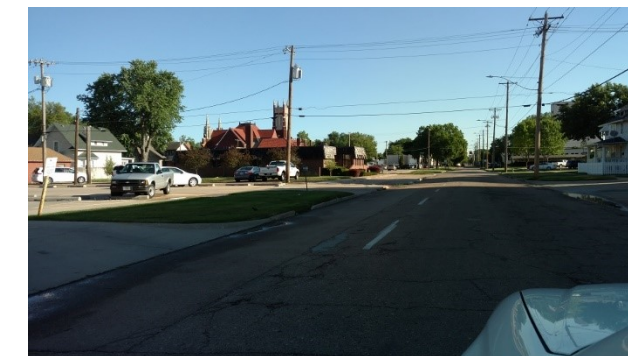
- Good:** Typically no major defects or aging conditions showing up in the physical analysis.
- Average:** Typically minor defects may be showing up, including: stress cracks, slight chipping of concrete edges, small amount of spawling, and slight heaving of a panel.
- Poor:** Represents a streets with considerable issues and is in need of an overlay or complete replacement in the near future.
- Closed:** Just as it implies, there is no street present at that location.

Within the study area there is approximately 50,765 lineal feet or 9.6 miles of streets and alleys possible. After reviewing the conditions in the field, the following is how the street conditions breakdown within the study area:

- 3,308 (6.5%) lineal feet of good street
- 13,934 (27.5%) lineal feet of average street
- 30,514 (60.1%) lineal feet of poor street
- 3,009 (5.9%) of closed streets

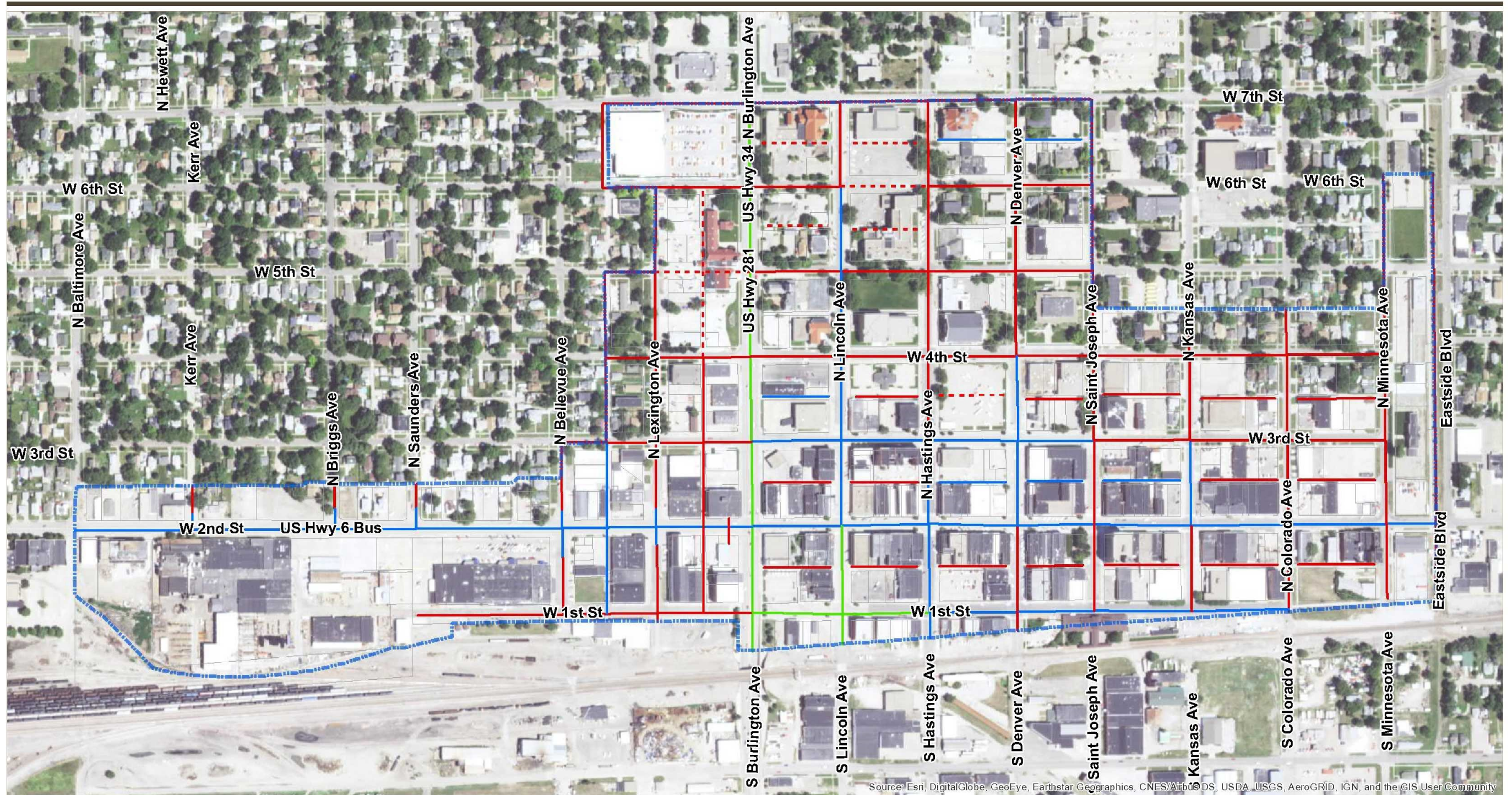
In total, 93.5% of the streets are in a average condition or worse, thus making them in a deteriorating state. However, if you remove the average condition streets from the calculation, Area 1 still has 66.0% of the streets in a state of deterioration. See Figure 5 for the locations of these streets.

Due to the large amount of deteriorating streets, the street conditions would be a direct contributing factor.



Examples of Street Conditions within the Study Area

Figure 5
Street Conditions



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

AREA I - STREET CONDITIONS

CITY OF HASTINGS
ADAMS COUNTY, NEBRASKA

- Good - 3,308 Linear Feet
- Average - 13,934 Linear Feet
- Deteriorating - 30,514 Linear Feet
- - - Closed - 3,009 Linear Feet

DATA SOURCES:
BASE DATA PROVIDED BY ADAMS COUNTY.
AERIAL IMAGERY PROVIDED BY ESRI.



Deterioration of Site or Other Improvements, continued

Curb and Gutter

Curb and Gutters have a number of direct and indirect roles in neighborhoods. Their primary functions is to be a barrier and a collection and direction system for moving water to storm drains or other drainage systems so the storm water can be drained away. On a secondary level, they can help define where the streets start and stop, and they act as a physical barrier between pedestrian and vehicular traffic.

The curb and gutter conditions, similar to the others, were analyzed throughout the Study Area. The curb and gutter were rated on the same four categories; good, average, poor, and missing. In most cases, if a few panels/sections of curb and gutter were showing signs of deterioration and if the remaining sections were not newer, than an entire run was deemed to match the areas of concern. In addition, where there were streets and curb and gutter meet, any spawling, breakups, or other noticeable issues, these were rated accordingly. Again, average to lower conditions were considered to be undesirable. As with the streets and sidewalks conditions, once a curb and gutter section begins to deteriorate it will continue to get worse unless specific maintenance or replacement steps are undertaken.

The different rating terms used in this section are defined as follows:

- Good:** Typically no major defects or aging conditions showing up in the physical analysis.
- Average:** Typically minor defects may be showing up, including: stress cracks, slight chipping of concrete edges, small amount of spawling, and slight heaving of a section.
- Poor:** Represents curbs and gutter with considerable issues and is in need of a complete replacement in the future.
- Missing:** Just as it implies, there is no curb and gutter present at that location.

Within the study area there is approximately 56,230 lineal feet or 10.6 miles of curb and gutter possible. If comparing the total lineal feet of curb and gutter to streets, the numbers do not match due to the fact alley ways were included in the street section. After reviewing the conditions in the field, the following is how the curb and gutter conditions breakdown within the study area:

- 5,705 (10.1%) lineal feet of good curb and gutter
- 3,762 (6.7%) lineal feet of average curb and gutter
- 38,381 (68.3%) lineal feet of poor curb and gutter
- 8,383 (14.9%) of missing curb and gutter

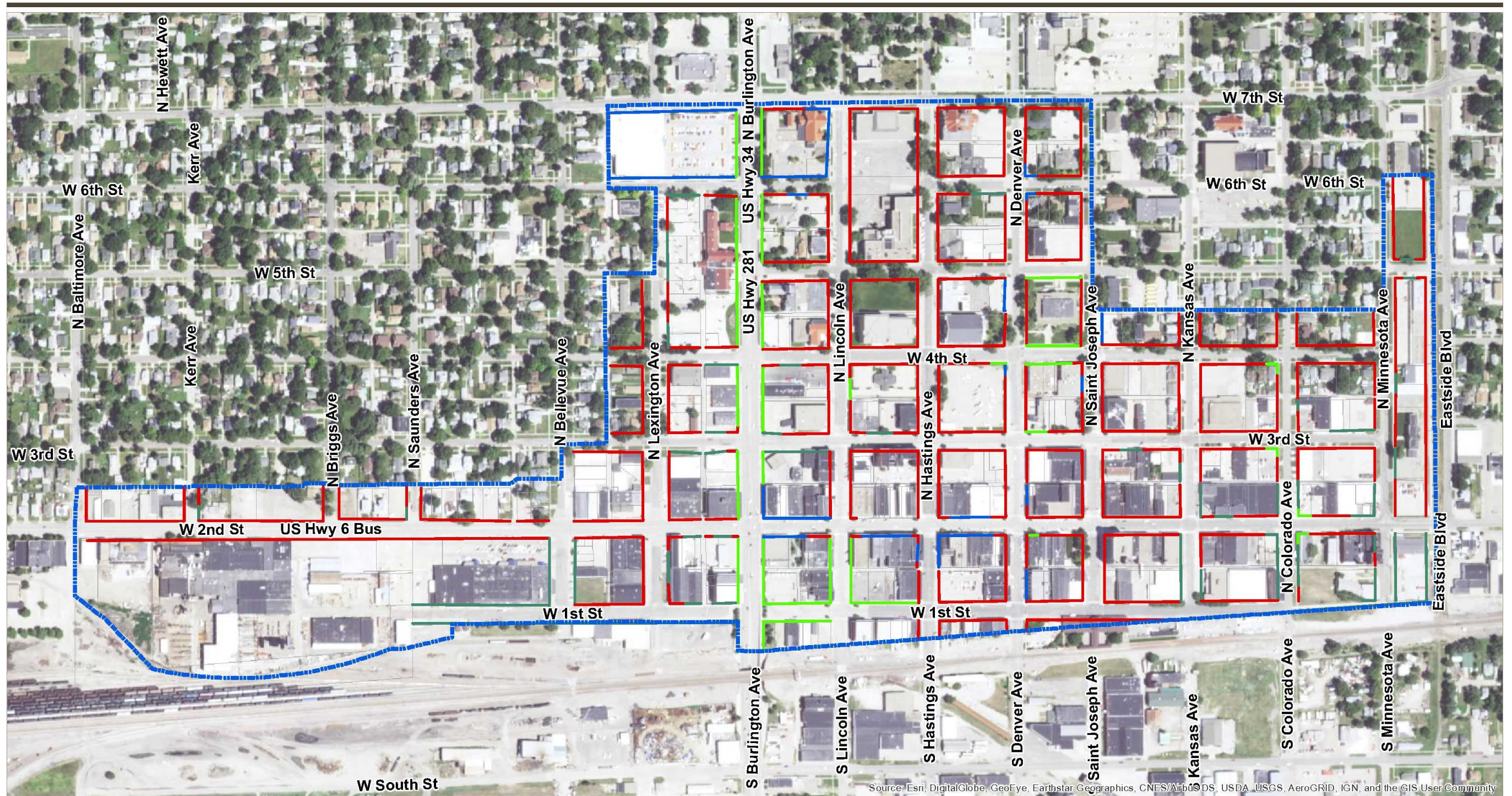
In total, 89.9% of the curb and gutter are in a average condition or worse, thus placing them in a deteriorating state. However, if you remove the average condition curb and gutter from the calculation, Area 1 still has 83.2% of the curb and gutter in a state of deterioration. See Figure 6 for the locations of these curb and gutter.

Due to the large amount of deteriorating curb and gutter, the curb and gutter conditions are a direct contributing factor.



Examples of Curb and Gutter Conditions within the Study Area

Figure 6
Curb and Gutter Conditions



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

AREA I - CURB AND GUTTER CONDITIONS

CITY OF HASTINGS
ADAMS COUNTY, NEBRASKA

- Good - 5,705 Linear Feet
- Deteriorating - 38,381 Linear Feet
- Average - 3,762 Linear Feet
- Missing - 8,383 Linear Feet

DATA SOURCES:
BASE DATA PROVIDED BY ADAMS COUNTY.
AERIAL IMAGERY PROVIDED BY ESRI.



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Print Date: 11/27/99 AM 8/29/2017

Deterioration of Site or Other Improvements, continued

Drainage Conditions

Hastings, especially in Area 1, is relatively flat. No matter how well the stormwater system is designed there is a point where water will have difficulty draining. The City within the past 30 years has rebuilt key pieces of the downtown infrastructure, including the stormwater system. Typically, the stormwater system will not deteriorate nearly as fast as the streets, curb and gutter, and sidewalks due to a lack of direct exposure.

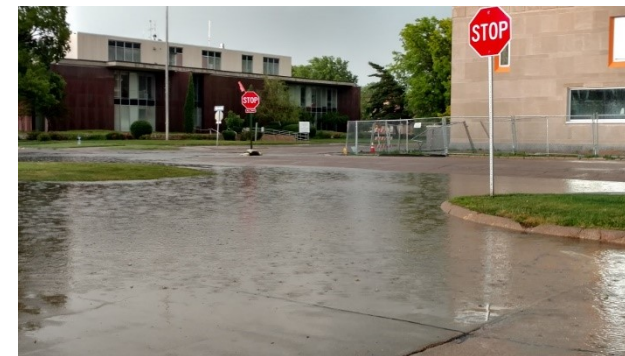
The study area was observed during an evening thunderstorm on June 13th. The storms that evening allowed a direct observation of how the drainage system handled a larger than normal storm. Due to the above average rainfall, the stormwater system had a short term failure to keep pace with the rain accumulations, resulting in short-term flash flood/urbanized flooding incident.

Observations the next morning indicated a number of areas where standing water was still present in the study area. Most of the standing water was due to deterioration of the curb and gutter system in the area. Over time, several key locations in the actual gutter flowline have settled and created a failure in the ability to drain water completely. Therefore, the drainage conditions in Area 1 is impacted directly by the deteriorating/poor curb and gutters throughout.

The study area drops 20 feet west to east along 2nd and 3rd Streets (approximately 6,470 feet), or approximately a 0.3% slope over the west to east length of the study area. In addition, the basic north to south slope is essentially flat along Burlington Avenue. Standing water within the study area is likely to continue in the future.

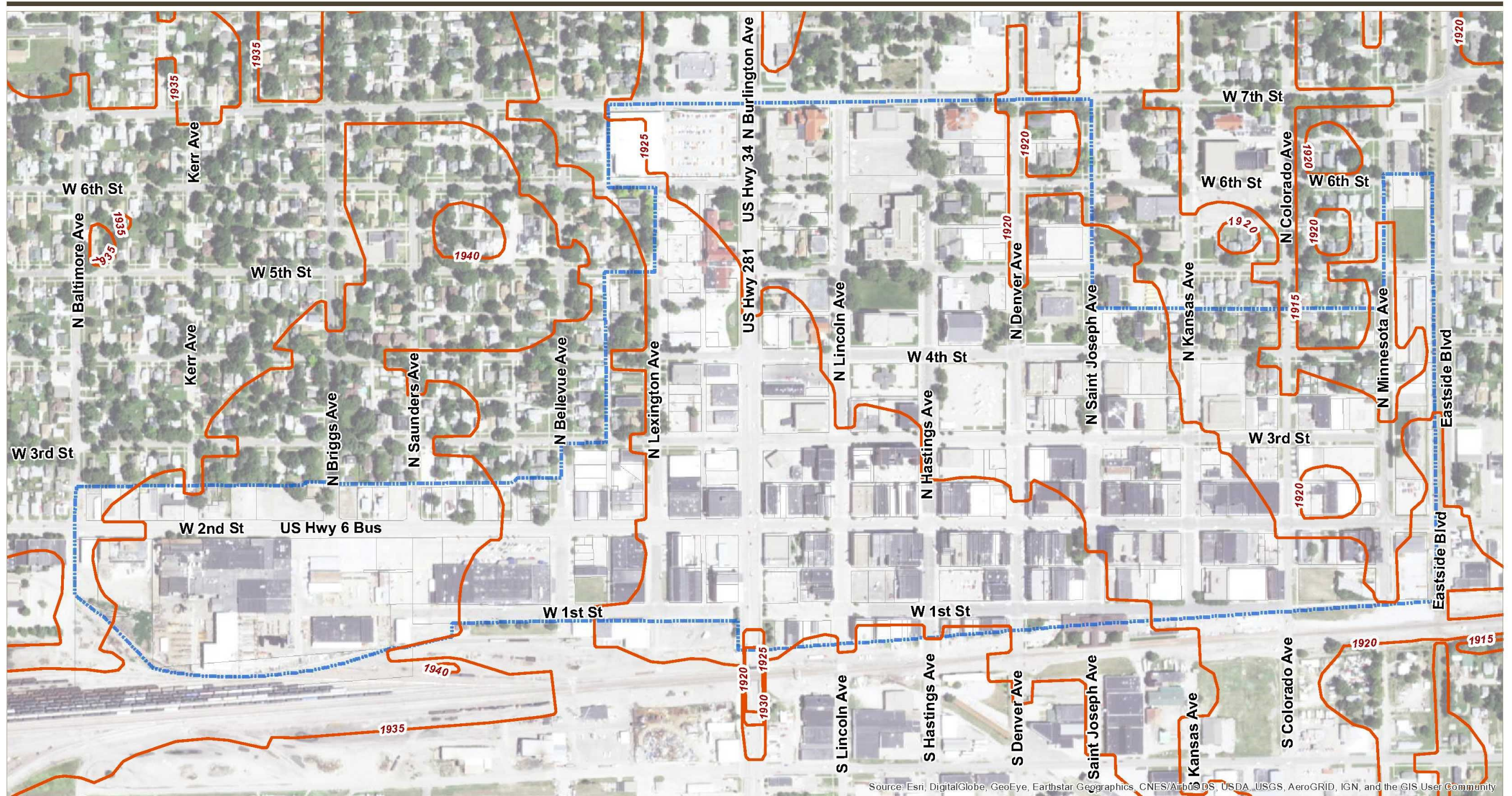
Standing water from poor drainage can be a catalyst for health issues like West Nile and other diseases due to the potential mosquito breeding during the summer months. It is important that drainage is adequate to rid the area of standing water, thus eliminating potentials for these diseases.

Due to the drainage issues and in combination with the curb and gutter conditions, drainage issues are a direct contributing factor towards blighting the area.



Examples of Drainage Conditions within the Study Area

Figure 7
Drainage/Contours



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

AREA I - TOPOGRAPHIC MAP

CITY OF HASTINGS
ADAMS COUNTY, NEBRASKA

— Contour (ft)

DATA SOURCES:
BASE DATA PROVIDED BY ADAMS COUNTY.
AERIAL IMAGERY PROVIDED BY ESRI.



Deterioration of Site or Other Improvements, continued

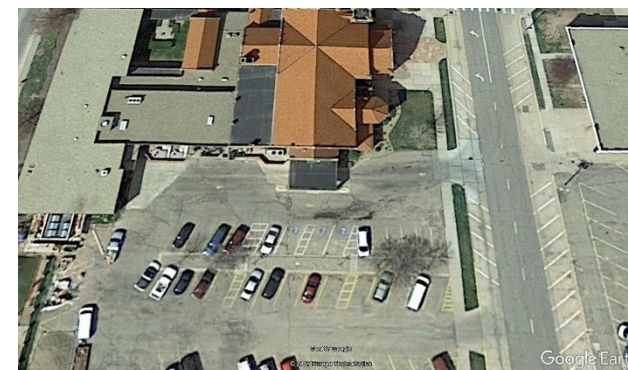
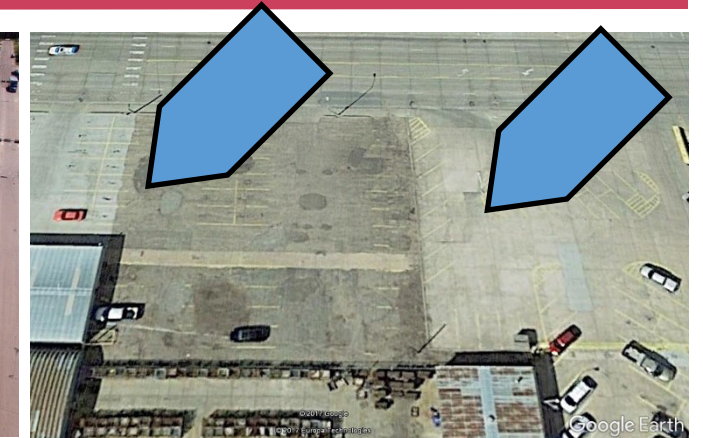
Site Improvement Conditions

Throughout Area 1 there are a number of public parking lots and private parking areas for the various commercial entities in the area. One of the keys to creating a positive image of an area is how well the exterior portions of the lots are maintained. Even a perfectly maintained structure can be seen as a deteriorating part of the community if the exterior or curb appeal is less than desirable.

Part of developing a blight study for any community centers around how well different site improvements are maintained and what type of image these improvements create of the property and study area. Part of this analysis examines the actual condition of the site improvements; plus, the drainage issue if they exist.

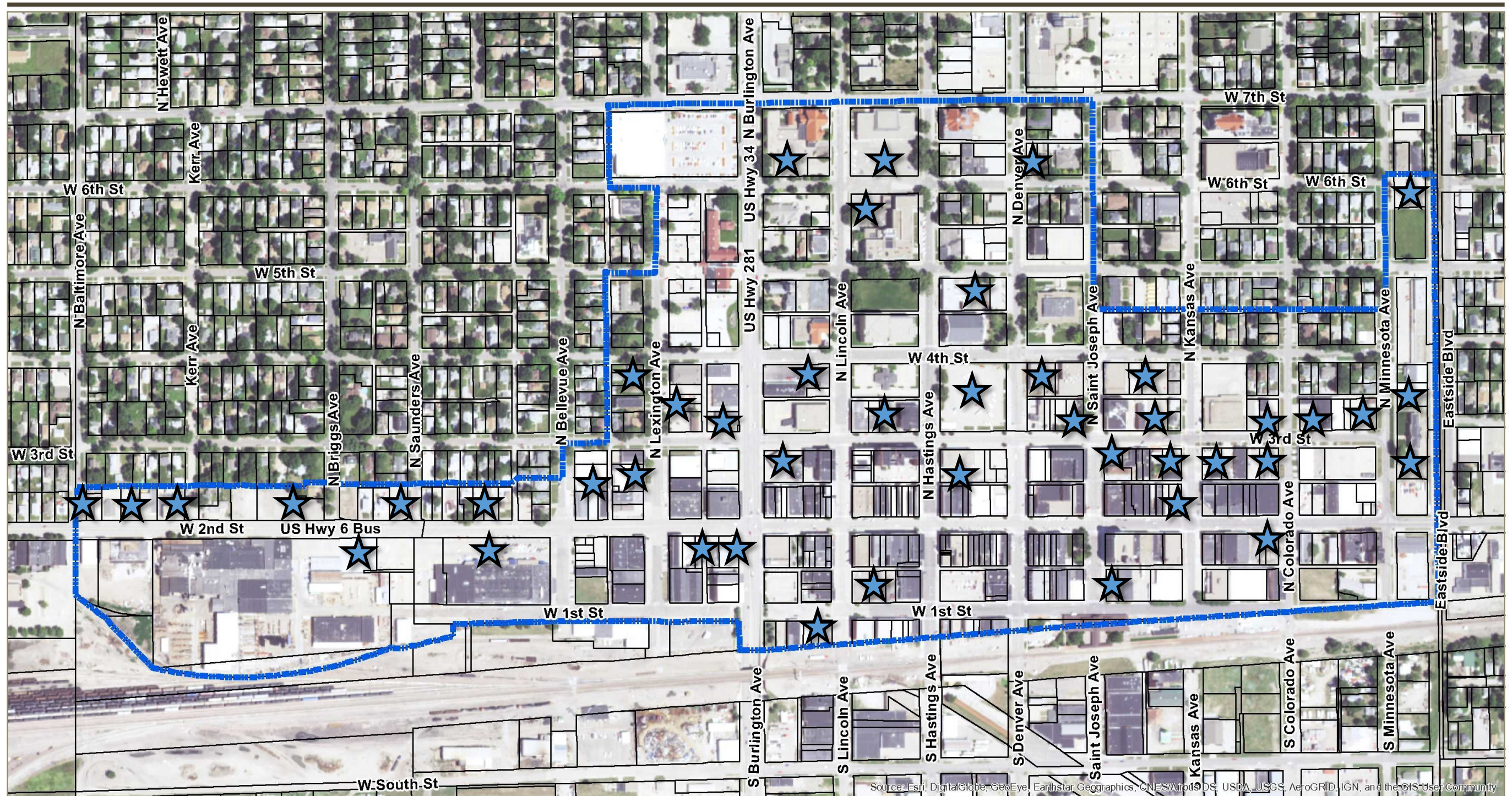
Within Area 1 there are 44 areas where the site improvements were deemed to be in poor condition. Some of these areas are far worse than others and should be improved. One of the most visible locations is the City Parking Area immediately north of City Hall (site of old Adams County Courthouse). The City parking area is seeing surface breakup in places and the photo to the right shows the drainage issues on the site from the June 13th rain event.

Due to the condition of multiple sites and the lack of improvements, specifically the condition and type of the paving, Site Improvements issues are a direct contributing factor towards blighting the area.



Examples of Site Improvement issues within the Study Area

Figure 8
Site Improvements—Deterioration



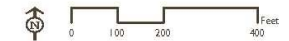
Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

HASTINGS 2017 BLIGHT AND SUBSTANDARD STUDY - AREA 1

CITY OF HASTINGS
ADAMS COUNTY, NEBRASKA

Area 1 (160 Acres) Site Improvements showing deterioration and/or not hard-surfaced

DATA SOURCES:
BASE DATA PROVIDED BY ADAMS COUNTY,
AERIAL IMAGERY PROVIDED BY ESRI.



Faulty Lot Layout

Size of Lot and Configuration

Area 1 contains the heart of Hastings, the downtown area. In most communities, downtowns are comprised of numerous lots with minimal lot frontages; therefore, those items are not the basis for the discussion on Size of Lot and Configuration (Faulty Lot Layout). The issue behind this discussion is the odd configurations which may have been done initially or at some point between the founding of the downtown area and now.

Overall, there have been 37 areas within the study area that have this type of issue. The following listing coordinates with Figure 9 and details specifically what caused the inclusion.

1. Area 1 is on the far west side of the study area and has two lots. This area is substantially narrow and may not be buildable or capable of being redeveloped in future without being part of another lot.
2. Number 2 is similar to 1, but is substantially small in both its width and depth and be difficult to redevelop on its own.
3. Another narrow and shallow lot, but in this case, it is also an odd shaped lot.
4. This area has an extremely small sliver lot cut in between two standard lots; however, the shape of the sliver lot has created two odd shaped lots.
5. Area 5 has allowed two lots to be platted out of one normal lot (it appears). This type of subdivision creates lots that are extremely shallow and difficult to redevelop in the future.
6. Area 6 includes a portion of Allen's and neighboring properties. The overall layout of this area is oddly divided and there are, technically, two landlocked lots/pieces in this configuration.
7. This area is smaller, but one lot is wrapping around the neighboring lot. It appears this can be attributed to the sidetracks from the BNSF Railroad.
8. Area 8 is along W. 2nd Street just west of N. Burlington Avenue. This set of lots appear to be subdivided lots from an older lot configured in an opposite manner than today. These lots are extremely shallow and narrow, even by downtown standards.
9. Area 9 has a number of smaller divisions, as well as one diagonal division.
10. Area 10 also appears to have two narrow and shallow lots divided out of a larger more typical lot in the past.
11. Area 11 is a combination of issues including, smaller lots used as parking and a closed street. This is one large use covering two blocks and a closed street right-of-way. With the smaller lots still in place, it opens up opportunities for these to be sold away; thus, creating potential conflicts.
12. Area 12 is the new Russ' Supermarket site. The primary note here is the street closure which dead ends neighborhood traffic.
13. This area is similar to the other sites, several small, narrow, and shallow lots, creating potential redevelopment issues.
14. Area 14 is similar to Area 12, a closed street which diverts neighborhood traffic.
15. This area contains several narrow, shallow and oddly configured lots.
16. Area contains a shallow and narrow lot.
17. Area contains a shallow and narrow lot.
18. Appears one normal lot divided into two shallow and narrow lots.
19. Appears one normal lot divided into two shallow and narrow lots.
20. Several lots which are very narrow and laid out in an odd configuration
21. Several lots which are very narrow and laid out in an odd configuration

22. Several lots which are very narrow and laid out in an odd configuration. Some lots only have direct access along the alley way.
23. Several lots which are very narrow and laid out in an odd configuration.
24. Several lots which are very narrow and laid out in an odd configuration.
25. Several lots which are very narrow and shallow manner and laid out in an odd configuration.
26. Several lots which are very narrow and laid out in an odd configuration
27. Several lots which are very narrow and laid out in an odd configuration
28. Several lots which are very narrow and laid out in an odd configuration
29. Several lots which are very narrow and laid out in an odd configuration
30. Appears one normal lot divided into two shallow and narrow lots.
31. Appears one normal lot divided into two shallow and narrow lots.
32. Appears one normal lot divided into two shallow and narrow lots.
33. Appears two lots were divided into three smaller narrow and shallow lots.
34. Appears two lots were divided into three smaller narrow and shallow lots.
35. Several lots which are very narrow and shallow manner and laid out in an odd configuration.
36. Area 36 is similar to Area 12 and 14, a closed street which diverts neighborhood traffic.
37. Area 36 is similar to Area 12 and 14, a closed street which diverts neighborhood traffic.

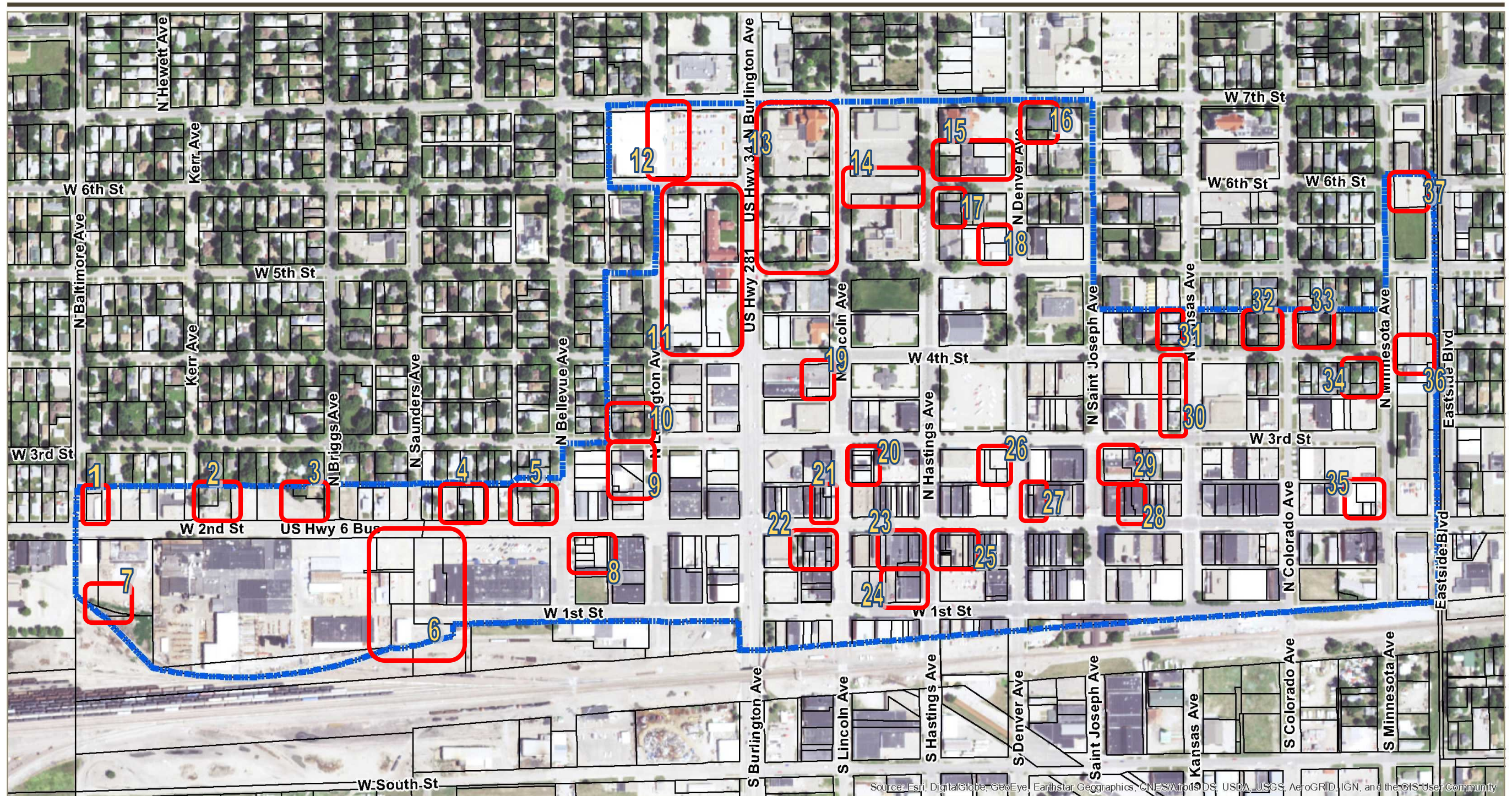
A number of these platted lots have a single use built over the top of the lot lines. However, as long as some of these lot lines continue into the future, there could become a point where someone may attempt to build on these individual lots. Two things of note:

- Where buildings are built over lot lines, these lots could be and should be combined; and
- This practice should be discontinued if it is currently used.

Due to the number of blocks containing different platting conditions, Fault Lot Configuration is a direct contributing factor towards blighting the area.



Figure 9
Faulty Lot Layout



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

HASTINGS 2017 BLIGHT AND SUBSTANDARD STUDY - AREA I

CITY OF HASTINGS
ADAMS COUNTY, NEBRASKA

Area 1 (160 Acres) Faulty Lot Layout Locations

DATA SOURCES:
BASE DATA PROVIDED BY ADAMS COUNTY,
AERIAL IMAGERY PROVIDED BY ESRI.



Insanitary and Unsafe Conditions

Standing Water

As discussed in the drainage section, the study area was observed during a major thunderstorm on June 13, 2017. In addition, the area was observed the next morning. The observations during the next morning included numerous areas of standing water within the study area.

The remaining water, in the morning, is a good indicator as to where standing water can be found throughout the spring and summer months. Although it is likely the standing water along the curb and gutters will dry up and disappear in a day or so, this is still a solid indicator of possible areas in the study area which may not dry up and go away. It is important to eliminate standing water since it has a direct bearing on mosquito breeding. Mosquito in this part of the country can carry and transmit West Nile.

Standing water and its ability to attract mosquitoes, which could be carrying known diseases is a direct contributing factor towards Insanitary and Unsafe Conditions of the area.

BNSF Railroad Mainline

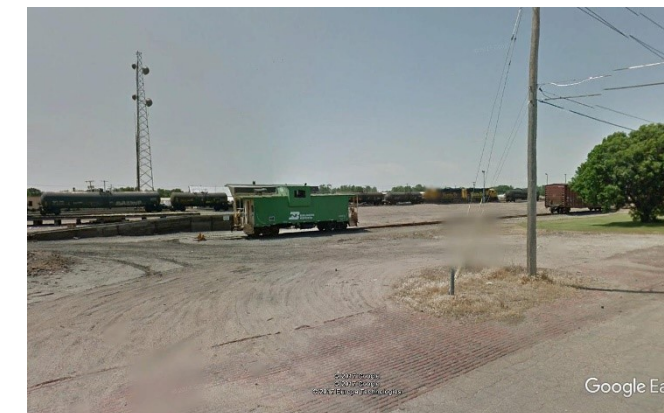
The BNSF Railroad's mainline runs the entire southern boundary of Area 1. In a large number of locations, the railroad right-of-way is not separated from the public rights-of-way by any sort of fencing. The lack of fencing and security allows people to gain direct access to the rails in places other than the rail crossings. The lack of security fencing is an unsafe situation. The only security fencing along the railroad R.O.W. is east of the Burlington Depot, some of which is enclosed materials owned by Dutton Lainson.

The BNSF Railroad line is a direct contributing factor towards Insanitary and Unsafe Conditions of the area.

Dutton Lainson Storage Areas

Another issue considered to be Insanitary and Unsafe is the unsecured storage of transformers from Dutton Lainson along 1st Street, east of the BNSF Depot. Transformers when they are ready for use contain numerous chemicals which can be hazardous. The unsafe part of this centers on the need for these to be secured inside an area with a gate. As of the present time, anyone could drive up and begin messing with the transformers.

The Dutton Lainson open transformer storage is a direct contributing factor towards Insanitary and Unsafe Conditions of the area.



Examples of Insanitary and Unsafe Conditions within the Study Area

Diversity of Ownership

Within the Area 1, there are 386 total properties, based upon the Adams County Assessors data. Within the area these properties are owned by a total of 221 different property owners. Included in these property owners, are several public entities, including the City of Hastings and Adams County; plus, several different religious denominations. Completing and continuing with future redevelopment efforts in this study area will require a coordinated effort. It is necessary that some organization similar to the Hastings Community Redevelopment Authority continue to lead efforts in redeveloping the Area 1 within the corporate limits of Hastings.

Based upon the number of different properties and property owners within the study area, it is determined that the Diversity of Ownership within Area 1 is a barrier to redevelopment.

Existence of Conditions endangering life or property due to fire or other causes

Located within the study area there are factors present that are a danger to life or property due to fire or other causes. A number of these factors have been previously discussed in this report.

These factors include:

- Unsecured materials
- The BNSF Railroad corridor is unsecured along most of the study area and enables someone to walk along the tracks of one of the busiest railroad corridors in the United States.
- Standing water

Based upon the review of the study area, there are sufficient elements present to meet the definition of dangerous conditions within the area.

Combination of factors which are impairing and/or arresting sound growth

Impairing and/or arresting sound growth can be an element in the study area that is positive but has a major impact on how uses develop or properties are redeveloped in the future. Within Area 1 there are two factors have a major impact on the development and redevelopment opportunities., thus impairing and/or arresting some growth.

These elements are:

- The BNSF Railroad corridor lies on the southern edge of the study area and acts as a major wall for further growth south from the traditional downtown area.
- In addition to safety concerns, the railroad also produces considerable noise. The noise levels within the corridor can be heard throughout the study area and is a an impairment toward sound growth.
- Even though it is a positive influence on the community, since it pulls the majority of traffic through the community, US Highway 281/Burlington Avenue impairs growth. The primary issue involving sound growth is the number of lanes along the route, the State and Federal regulations for driveways, and the setbacks required from the thoroughfare.

Based upon the review of the study area, there are sufficient elements present to meet the definition of combination of factors which are impairing and/or arresting sound growth within the study area.

Part B of the Blight Definition

Age of Units

Age of units is a contributing factor to the blighted and substandard conditions in an area. The statute allows for a predominance of units 40 years of age or older to be a contributing factor regardless of their condition. The following paragraphs document the structural age of the units within the Study Area. Note the age of units came from the Assessors data within the Adams County website data.

Within the study area, there are 277 units in some form or another. The age of structure has been determined by researching the structural age on the Adams County Assessor's websites and reviewing older documents, as well as, a land survey completed on the entire site.

The following breakdown was determined:

- 253 (91.3%) units were determined to be 40 years of age or older
- 24 (8.7%) units were determined to be less than 40 years of age

**Table 1:
Age of Units**

	Number of Units	Year Built	Total Age	Total Cumulative Age
	1	1875	142	142
	13	1880	137	1,781
	1	1881	136	136
	1	1883	134	134
	1	1884	133	133
	8	1885	132	1,056
	1	1889	128	128
	17	1890	127	2,159
	1	1895	122	122
	1	1899	118	118
	35	1900	117	4,095
	1	1901	116	116
	1	1903	114	114
	2	1904	113	226
	3	1905	112	336
	2	1906	111	222
	1	1907	110	110
	1	1908	109	109
	15	1910	107	1,605
	1	1911	106	106
	1	1912	105	105
	3	1914	103	309
	12	1915	102	1,224

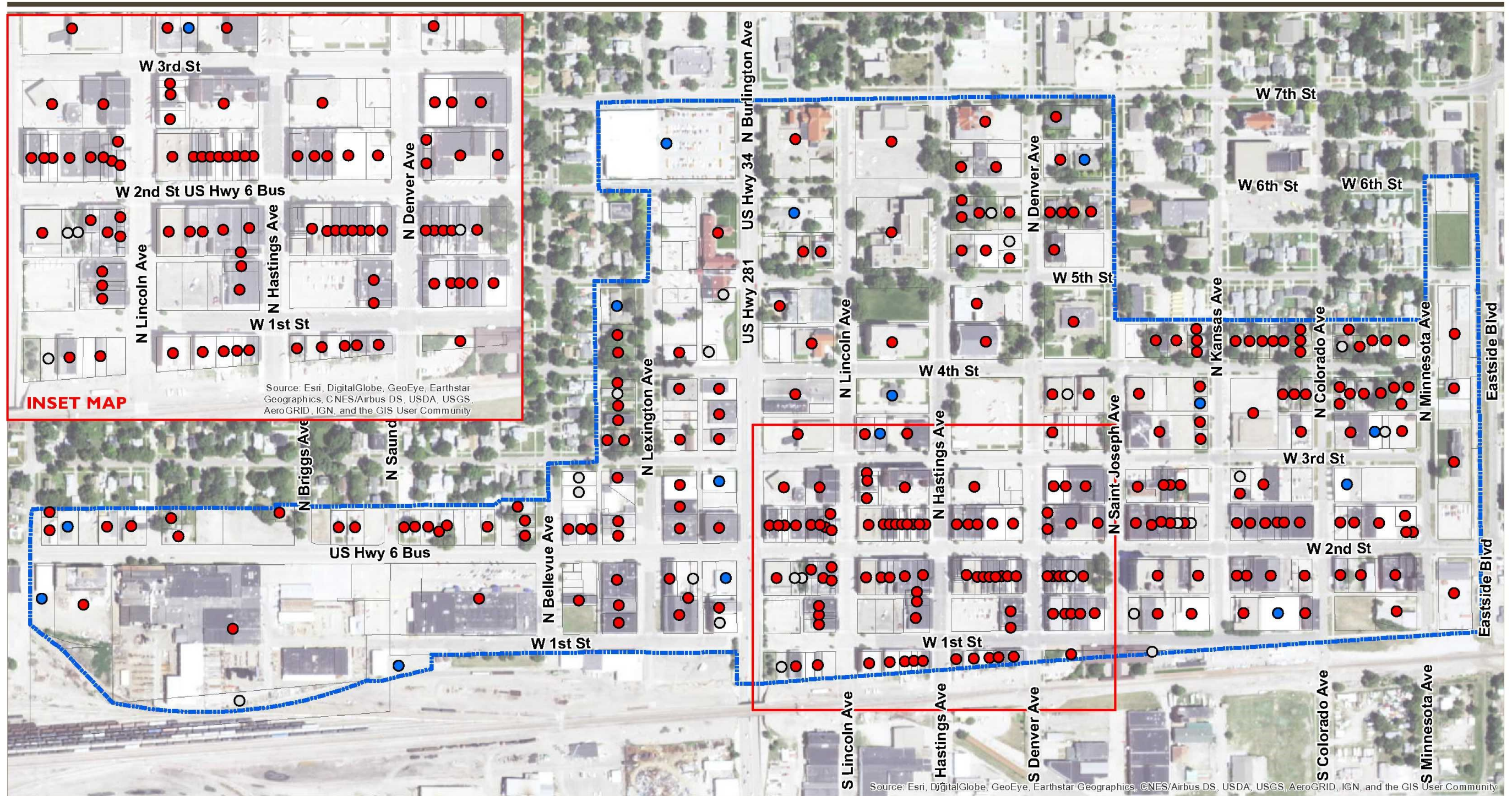
	Number of Units	Year Built	Total Age	Total Cumulative Age
	3	1916	101	303
	1	1917	100	100
	2	1918	99	198
	1	1919	98	98
	21	1920	97	2,037
	1	1921	96	96
	5	1922	95	475
	2	1923	94	188
	11	1925	92	1,012
	3	1926	91	273
	2	1928	89	178
	2	1929	88	176
	10	1930	87	870
	2	1932	85	170
	7	1935	82	574
	1	1936	81	81
	1	1938	79	79
	1	1939	78	78
	4	1940	77	308
	1	1942	75	75
	1	1945	72	72
	3	1946	71	213
	1	1947	70	70
	1	1949	68	68
	9	1950	67	603
	2	1951	66	132
	1	1954	63	63
	4	1955	62	248
	7	1956	61	427
	1	1957	60	60
	1	1958	59	59
	6	1960	57	342
	3	1961	56	168
	5	1962	55	275
	3	1965	52	156
	2	1968	49	98
	1	1969	48	48
	1	1970	47	47
	2	1971	46	92
	1	1972	45	45
	1	1973	44	44

	Number of Units	Year Built	Total Age	Total Cumulative Age
	2	1975	42	84
	1	1977	40	40
	1	1981	36	36
	1	1982	35	35
	1	1984	33	33
	1	1985	32	32
	1	1989	28	28
	1	1990	27	27
	1	1995	22	22
	1	1996	21	21
	1	1999	18	18
	1	2001	16	16
	1	2002	15	15
	1	2003	14	14
	1	2005	12	12
	1	2008	9	9
	1	2010	7	7
	2	2011	6	12
	1	2012	5	5
	1	2013	4	4
	1	2014	3	3
	2	2015	2	4
Total Cumulative	285			25,762
Average Age				90.39

Source: Adams County Assessor

Also, Table 1, above, examined the units within the study area and calculated a cumulative age and divided by the total number of commercial units to get a mean age. The mean age of all of the commercial units in the study area is 90.39 years.

Figure 9
Faulty Lot Layout



AREA I - AGE OF STRUCTURES

CITY OF HASTINGS
ADAMS COUNTY, NEBRASKA

- Less than 40 Years Old (15 Structures)
- Built 40 or More Years Ago (253 Structures)
- Unknown (9 Structures)

DATA SOURCES:
BASE DATA PROVIDED BY ADAMS COUNTY.
AERIAL IMAGERY PROVIDED BY ESRI.



Blighting Summary

These conditions are contributing to the blighted conditions of the study area.

Substantial number of deteriorating structures

- Based upon the review of Adams County Assessor data, field observations, drone observations and other aeriels there are a substantial number of deteriorating structures within the Study Area:
 - ◊ 2 (0.8%) structures rated as Excellent.
 - ◊ 25 (8.8%) structures rated as Good.
 - ◊ 216 (76.0%) structures rated as Average.
 - ◊ 33 (11.6%) structures rated as Fair.
 - ◊ 8 (2.8%) structures rated as Poor.

Deterioration of site or other improvements

- Large amounts (78%) of sidewalk in an Average to Poor condition; 54.9% in a Fair to Poor condition.
- Large portions (93.5%) of the street network in an average to poor condition; 66% in a Fair to Poor condition.
- Majority (89.9%) of Curb and Gutter is in an Average to Poor condition; 83.2% in a Fair to Poor condition.
- Drainage is an issue during larger spring and summer storm events.
- Standing water remains after storm events occur in certain places throughout the Study Area.
- There are considerable number of private and public parking lots either in a deteriorating state or simply are not hard-surfaced.

Faulty Lot Layout

- There are 38 locations in the Study Area where the lots were originally platted in a faulty manner or have been replatted over time.

Insanitary or Unsafe Conditions

- Standing water in various locations after storm event.
- BNSF Railroad is not secure along most of the southern boundary of the Study Area.
- Dutton Lainson has unsecured storage along the south side of 1st Street including transformers.

Diversity of Ownership

- The Study Area contains 386 different Property Identification Number (PIN) on the Assessor's website; within the 386 different properties there are a total of 221 different property owners including different governmental and religious entities.

Existence of Conditions endangering life or property due to fire or other causes

- Unsecured materials within the Study Area.
- The BNSF Railroad corridor is unsecured along most of the study area.
- Standing water in part of the study area.

Combination of factors which are impairing and/or arresting sound growth

- The BNSF Railroad corridor lies on the southern edge and is a major deterrent to further downtown growth to the south. In addition, the trains create considerable noise when passing through the corridor.

- US Highway 281/Burlington Avenue splits the study area and due to its control by State and Federal departments and the volume of vehicles impairs the development and redevelopment of the area.

Criteria under Part B of the Blight Definition

Average age of units is over 40 years of age

- Within the Study Area 91.3% of the units meet the criteria of 40 years of age or older.
- Based upon the county assessor's assessment records, the average age of the units within the study area is 90.39 years.

Other criteria for Blight not present in the area include:

- Improper Subdivision or Obsolete Platting
- Defective/Inadequate street layouts
- Tax or special assessment delinquency exceeding fair value of the land.
- Defective or unusual condition of title
- Unemployment in the designated area is at least 120% of the state or national average.
- Over one-half of the property is unimproved and has been within the City for over 40 years.
- The per capita income of the area is lower than the average per capita income of the city or village in which the area is designated.

These issues were either not present or were limited enough as to have little impact on the overall condition of the study area.

Substandard Conditions

“Substandard areas means an area in which there is a predominance of buildings or improvements, whether nonresidential or residential in character, which, by **reason of dilapidation, deterioration, age** or obsolescence, inadequate provision for ventilation, light, air, sanitation, or open spaces, high density of population and overcrowding, or the existence of conditions which endanger life or property by fire and other causes, or any combination of such factors, is conducive to ill health, transmission of disease, infant mortality, juvenile delinquency, and crime, (which cannot be remedied through construction of prisons), and is detrimental to the public health, safety, morals, or

Predominance of Deteriorating Buildings or Improvements

Structural conditions were evaluated, structures were either rated as: Excellent, Good, Average, Fair, and Poor. The data and rating system comes from the Adams County Assessor's database and is the same database used to value properties in the area.

Based upon the data provided to the planning team, the following is the breakdown for structures in the study area:

- 2 (0.8%) structures rated as Excellent
- 25 (8.8%) structures rated as Good
- 216 (76.0%) structure rated as Average
- 33 (11.6%) structures rated as Fair
- 8 (2.8%) structure rated as Poor

The different rating terms used in this section are defined as follows:

- Excellent:** Typically newer construction or property that recently has been completely upgraded.
- Good:** Typically no major defects or aging conditions showing up in the physical analysis.
- Average:** Typically minor defects may be showing up, including: degrading roof materials (limited to 25%), masonry joints needing tuckpointed (25% or less), painted surfaces beginning to peel and flake, small cracks in the foundation, broken glass, and other similar conditions.
- Fair:** Similar to Average but conditions are worsening and covering a greater percentage of the structure.
- Poor:** Represents structures likely showing several of the conditions mentioned above as well as the extent of the aging and deterioration is at a point where demolition may be necessary to eliminate the conditions.

Based upon these data, an assumption has been made that average condition and less would constitute less than desirable conditions due to age and conditions. It is common for older structures to get more maintenance and upkeep in order to maintain a good or higher condition. Even an average structure will show some signs of deteriorating which in turn can become a dilapidated structure in the future if it is not addressed over time. Overall, 90.4% of the structures in this study area are average condition or worse.

Due to the stated conditions found in the Adams County Assessor's data, the condition of the structure is a contributing factor.

Age of Units

Age of units is a contributing factor to the blighted and substandard conditions in an area. The statute allows for a predominance of units 40 years of age or older to be a contributing factor regardless of their condition. The following paragraphs document the structural age of the units within the Study Area. Note the age of units came from the Assessors data within the Adams County website data.

Within the study area, there are 277 units in some form or another. The age of structure has been determined by researching the structural age on the Adams County Assessor's websites and reviewing older documents, as well as, a land survey completed on the entire site.

The following breakdown was determined:

- 253 (91.3%) units were determined to be 40 years of age or older
- 24 (8.7%) units were determined to be less than 40 years of age

**Table 1:
Age of Units**

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	1	1875	142	142
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Total Cumulative	285			25,762
Average Age				90.39

Source: Adams County Assessor

Also, Table 1, above, examined the units within the study area and calculated a cumulative age and divided by the total number of commercial units to get a mean age. The mean age of all of the commercial units in the study area is 90.39 years.

Substandard Summary

Nebraska State Statute requires that "...an area in which there is a predominance of buildings or improvements, whether nonresidential or residential in character, which, by **reason of dilapidation, deterioration, age** or obsolescence, inadequate provision for ventilation, light, air, sanitation, or open spaces, high density of population and overcrowding, or the existence of conditions which endanger life or property by fire and other causes, or any combination of such factors, is conducive to ill health, transmission of disease, infant mortality, juvenile delinquency, and crime, (which cannot be remedied through construction of prisons), and is detrimental to the public health, safety, morals, or welfare;"

This Study Area meets the definition of Substandard as defined in the Revised Nebraska State Statutes.

FINDINGS FOR HASTINGS BLIGHT STUDY AREA #1

Blight Study Area #1 has several items contributing to the Blight and Substandard Conditions. These conditions include:

Blighted Conditions

- **Substantial number of deteriorated or deteriorating structures**
- **Deterioration of site or other improvements**
- **Faulty Lot Layout**
- **Insanitary and Unsafe Conditions**
- **Diversity of Ownership**
- **Dangerous conditions to life or property due to fire or other causes**
- **Combination of factors which are impairing and/or arresting sound growth**
- **Average age of structures is over 40 years of age**

Substandard Conditions

- **Predominance of structures meeting the dilapidation or deterioration criteria**
- **Average age of the structures in the area is at least forty years**

EXECUTIVE SUMMARY

This Redevelopment Plan (the "Redevelopment Plan" or the "Plan") is intended to provide a guide for the implementation of redevelopment activities within the previously examined Redevelopment Area #1 in Hastings, Nebraska (the "City"), pursuant to the provisions of the Nebraska Community Development Law and sections 18-2145 to 18-2154 (together, the "Act").

The Hastings Redevelopment Authority (the "CRA"), acting as a redevelopment authority pursuant to the Act, intends to undertake or provide for the redevelopment within the study area, as shown on Figure 1 (the "Redevelopment Plan Area") in the Blight and Substandard Study. Redevelopment activities shall be utilized to promote the general welfare, the enhancement of the tax base, the economic and social well-being, the development of any public activities and promotion of public events in the Area, along with all other purposes, as outlined in the Act.

A Community Development Authority Redevelopment Plan must contain the general planning elements set out by section 18-2111 of the Act as items (1) through (6), as follows:

"(1) the boundaries of the redevelopment area with a map showing the existing uses and condition of the real property therein; (2) a land-use plan showing proposed uses of the area; (3) information showing the standards of population densities, land coverage and building intensities in the area after redevelopment; (4) a statement of the proposed changes, if any, in zoning ordinances or maps, street layouts, street levels or grades, or building codes and ordinances; (5) a site plan of the area; and (6) a statement as to the kind and number of additional public facilities or utilities which will be required to support the new land uses in the area after redevelopment.

Section 18-2113 of the Act, provides that a Community Redevelopment Authority must consider certain planning matters prior to recommending a redevelopment plan to the City Council for adoption. These considerations are defined therein, as follows:

"...whether the proposed land uses and building requirements in the redevelopment project area are designed with the general purpose of accomplishing, in conformance with the general plan, a coordinated, adjusted and harmonious development of the City and its environs which will, in accordance with present and future needs, promote health, safety, morals, order, convenience, prosperity, and the general welfare, as well as efficiency and economy in the process of development; including, among other things, adequate provision for traffic, vehicular parking, the promotion of safety from fire, panic, and other dangers, adequate provision for light and air, the promotion of the healthful and convenient distribution of population, the provision of adequate transportation, water, sewage, and other public utilities, schools, parks, recreational and community facilities and other public requirements, the promotion of sound design and arrangement, the wise and efficient expenditure of public funds, and the prevention of the recurrence of insanitary or unsafe dwelling accommodations, or conditions of blight."

CONCLUSION

While this Redevelopment Plan establishes overall policies and intentions toward the comprehensive redevelopment of the Area, additional phases may require subsequent project plans and redevelopment agreements consistent with this Redevelopment Plan

REDEVELOPMENT PLAN

The planning process for the Redevelopment Area has resulted in a listing of general planning and implementation recommendations. As previously discussed in the Blight and Substandard Determination Study, there are several structural and substandard conditions which are detrimental to the health, safety and general welfare of the community and generally obsolete in respect to the development and living environment expectations of Nebraska communities, including the City of Hastings. To eliminate these conditions and enhance private development activities within the Redevelopment Area, the City of Hastings will need to consider the following planning and redevelopment actions:

- rehabilitation of residential, commercial, industrial and public/quasi-public properties;
- maintain and/or replace, as necessary, the current infrastructure in the Area;
- code enforcement program for the clean-up of areas in violation and detrimental to health, safety and general welfare of the community;
- screening and/or buffering of adjacent industrial areas (beyond the Redevelopment Area) from residential uses, including the use of berms and, or, landscaping to partially screen parking or storage areas and enhance vehicular and pedestrian rights-of-way; and,
- condemnation of un-safe structures, acquisition where necessary and demolition of substantially deteriorated structures, and replacement with appropriate residential, commercial or industrial development.

Both a timeline and budget should be developed for the Redevelopment Plan. Each of these processes should be designed in conformance with the resources and time available to the CRA and the City. A reasonable timeline to complete the redevelopment activities identified in the Redevelopment Plan would be 10 to 15 years.

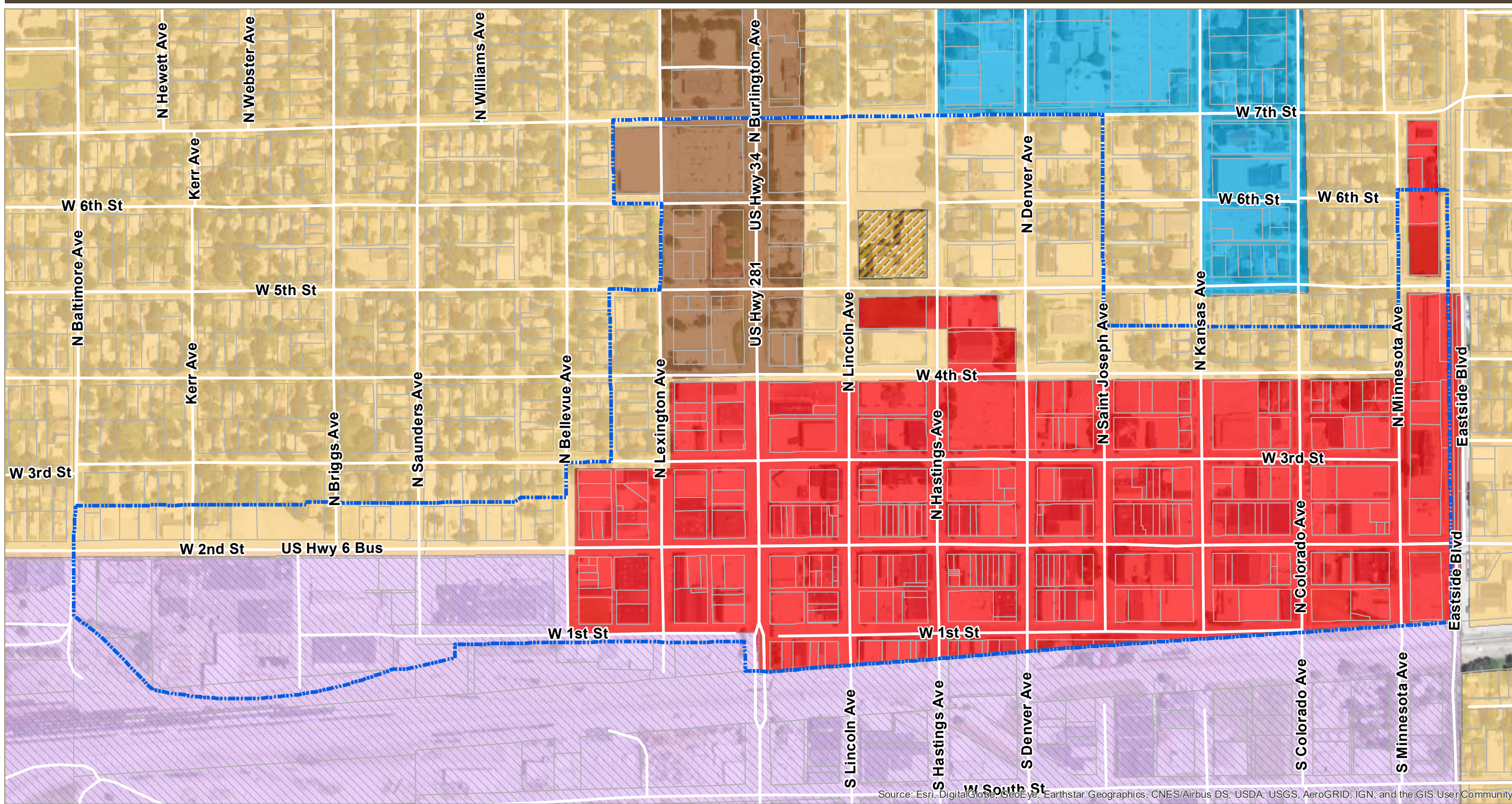
Various funding sources exist for the preparation and implementation of a capital improvement budget designed to meet the funding needs of proposed redevelopment activities. These include, in addition to city and federal funds commonly utilized, Community Development Block Grant funding, HOME funding, special assessments, general obligation bonds, redevelopment bonds, occupation taxes and tax increment financing.

Future Land Use Pattern

The existing land use patterns within Redevelopment Area were described in the Blight and Substandard Determination Study portion of this document. In general, the Redevelopment Area contains four distinct land uses. The primary developed uses include commercial, single-family residential, public and quasi-public use.

Future land uses recommended for Redevelopment Area are planned to be in general conformance with the current zoning patterns for the community. However, continued redevelopment of the commercial uses within the study area is recommended, including the redevelopment single-family residential on the north and east sides of the study area.

Infill development in conformance with the associated future land use and zoning criteria are advocated throughout Redevelopment Area for vacant parcels. These lots, or parcels, are cost effective to develop as all required infrastructure is present.



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

AREA I - FUTURE LAND USE

CITY OF HASTINGS
ADAMS COUNTY, NEBRASKA

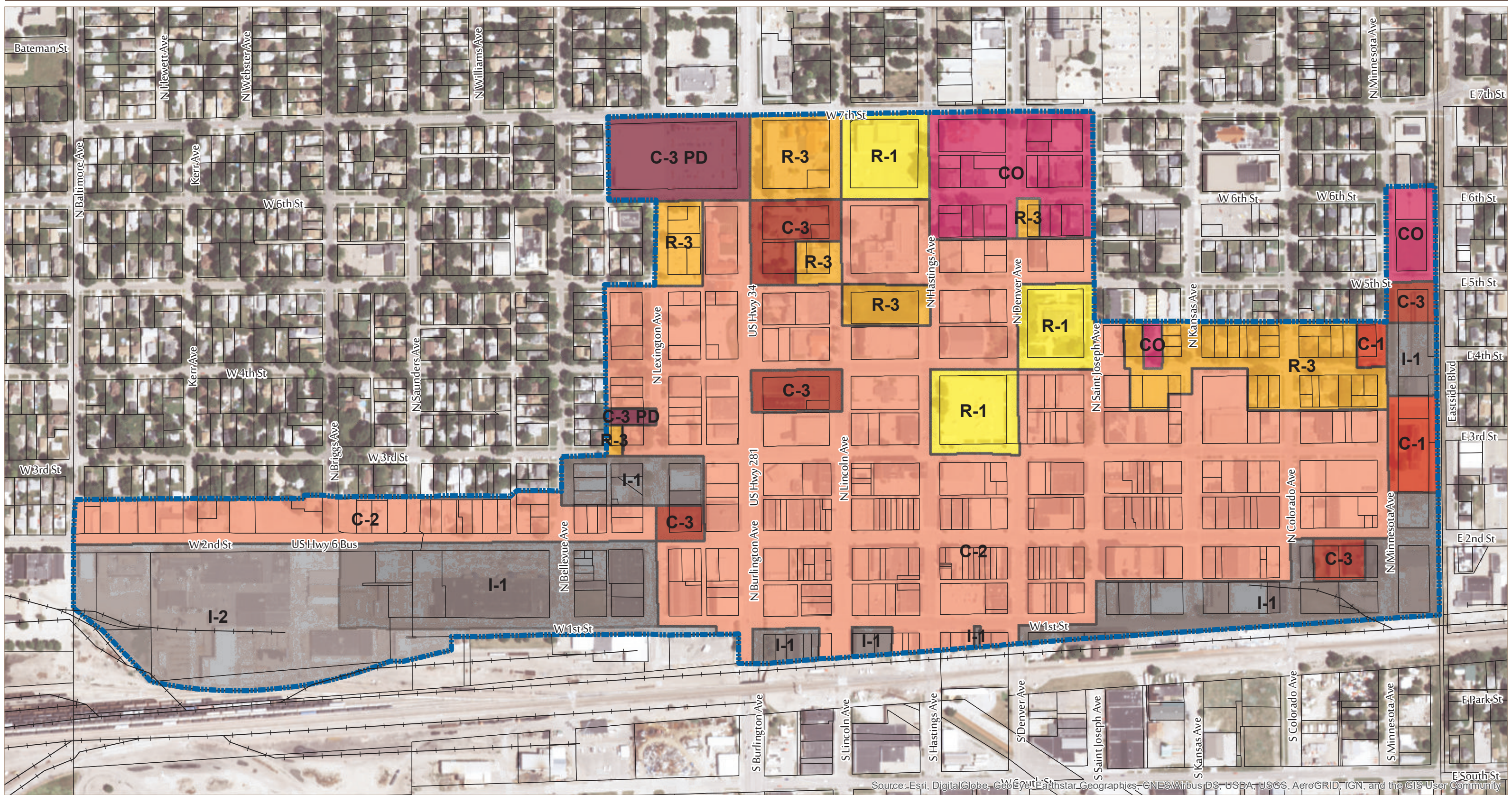
-  Commercial/Retail
-  Mixed-Use Neighborhood
-  Urban Industrial Overlay
-  Employment/Industrial
-  Mixed-Use Downtown
-  Public/Semi-Public
-  Urban Residential

DATA SOURCES:
BASE DATA PROVIDED BY ADAMS COUNTY.
AERIAL IMAGERY PROVIDED BY ESRI.









Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

AREA I - UNOFFICIAL ZONING

CITY OF HASTINGS
ADAMS COUNTY, NEBRASKA

- C-1 Local Business
- C-3 Commercial Business
- C-O Commercial Office
- I-2 Heavy Industrial
- R-3 Multiple Family Residential
- C-2 Central Business
- C-3 PD Commercial Planned Business
- I-1 Light Industrial
- R-1 Urban Single Family Residential
- Area 1 (160 Acres)

DATA SOURCES:
BASE DATA PROVIDED BY ADAMS COUNTY.
AERIAL IMAGERY PROVIDED BY ESRI.

Future Zoning Districts

A future zoning plan for Redevelopment Area is reflected in the existing zoning map contained in the Blight and Substandard Study. The map illustrates the future zoning classifications are in conformance with the City's Comprehensive Plan and current zoning classifications. However, as stated above, expansion of the industrial and commercial uses within the area is recommended, including the expansion of current industrial uses into other non-residential districts within the Redevelopment Area.

Recommended Public Improvements

Streets: Although sufficient infrastructure generally exists in the Redevelopment Area the installation and upgrading of streets and sidewalks is ongoing by the City through its various programs. The Blight and Substandard Study identified deteriorating, dilapidated and rural section curb and gutter, as well as sidewalks, as a major contributing substandard condition. An upgrade of these improvements is a primary and first step in the redevelopment of the Area. Gravel streets, which are to remain public streets, in the area should be improved to City standards.

Storm Water: Although sufficient infrastructure generally exists in the Redevelopment Area the installation and upgrading of storm sewer lines and facilities is ongoing by the City through its various programs.

Potable Water and Gas: Although sufficient infrastructure generally exists in the Redevelopment Area the installation and upgrading of water and gas lines is ongoing.

Sanitary Sewer: Although sufficient infrastructure generally exists in the Redevelopment Area the installation and upgrading of sanitary sewer lines and facilities is ongoing by the City through its various programs.

Electrical Power: Although sufficient infrastructure generally exists in the Redevelopment Area the installation and upgrading of electrical power lines and facilities is ongoing by the City through its various programs.

Residential District

Primary redevelopment focus should concentrate on housing rehabilitation and overall site condition improvements. Additionally, the City or CRA may improve certain lots by demolishing deteriorated structures on those lots. The City or CRA will market the acquired and improved lots to allow for the private construction of the replacement residential units. The lots selected to be acquired as part of an initial project, and each future project, need not be contiguous, but shall be selected on availability, funding and likelihood of successful development. The CRA may also develop a residential revolving fund to provide funding to owners to upgrade their property. Initial and on-going funding is discussed below.

Commercial District

Overall upgrade of site conditions and structures are a primary focus. Expansion of such uses as well as a combination of properties is necessary for the redevelopment of the Area. Various public financing tools, as described in this Redevelopment Plan, may be made available for such commercial and industrial redevelopment. Public streets, where appropriate, may be vacated to encourage contiguous commercial or industrial redevelopment. Traffic patterns for commercial/industrial truck traffic should be studied to minimize the effect on the adjacent residential area.

Financing

Redevelopment Bonds

The Plan proposes the CRA issue a series of redevelopment bonds (the "Bonds") to be repaid from several sources as set out in each particular issuance. These sources include all or a portion of the excess *ad valorem* real estate taxes generated by a series of redevelopment projects pursuant to §18-2147 of the Nebraska Revised Statutes ("Tax Increment Financing" or "TIF") for a period of 15 years from the respective project effective dates, special assessments, *ad valorem* real estate taxes from the special redevelopment levy, grants and other income from the Redevelopment Area. The proceeds of the Bonds to assist in payment of project costs, as further defined in a subsequent redevelopment contract or contracts. The costs of adequate redevelopment of the Area is too great to be absorbed by either the Developer or public without the assistance of Tax Increment Financing, as further described in the cost benefit analysis to be provided with each project.

The Bonds issued for the commercial/industrial redevelopment would generally be purchased by the developer using such funds granted to it by the CRA. In addition to necessary public improvements, the Bond proceeds would be used to provide funding for allowable expenses incurred by the Developer.

Each of these subsequent redevelopment project plans may contain a provision for the division of *ad valorem* taxes for each respective project, thereby allowing the excess *ad valorem* taxes that are collected from each project to be available and pledged to the outstanding Bonds for the full statutory period. The effective date of each pledge, as described above, shall be the date determined either by contract or by modification of the outstanding Bond terms.

Any use of this financing source, including TIF, will require a project specific Redevelopment

Loan/Grant Programs

The CRA and the City of Hastings have created a revolving loan and/or grant program for the rehabilitation and improvement of buildings and public uses in Redevelopment Area. The rehabilitation of residential, commercial and industrial buildings would prolong the life of the structures, create safe and decent living and shopping environments and enhance the pride of the community. As discussed above, funding may be available through the CRA levy or from the excess *ad valorem* taxes from each project as it develops.

Façade Improvement Program

This program used only in Redevelopment Area #1 is appropriate for this Area. The program provides funding assistance to commercial properties to rehabilitate building frontages.

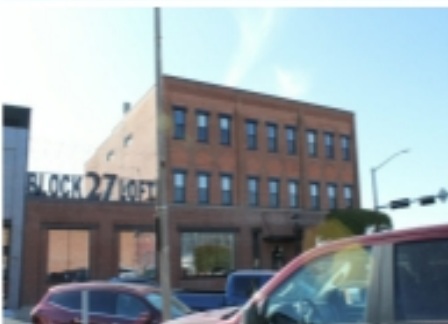
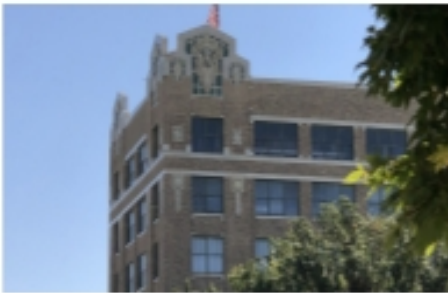
The purpose of the Façade Grant Program is to restore, improve or create historic architectural features to facades of commercial buildings anywhere within the downtown Central Business District. Applicants may be awarded up to \$15,000 per 22 feet of storefront for facades, storefronts and awnings or up to \$1,000 for signage with a matching dollar for dollar expenditure by the owner/tenant.

Property Acquisition

The CRA should utilize funds from their tax levy as well as ad valorem taxes from Area #1 projects to acquire and hold properties for future redevelopment. It may be necessary to improve said properties and provide other incentives to attract investor/developers to these buildings due to their age and condition"

SUMMARY

The recommendations listed above are to grant authority to the City of Hastings and the CRA in creating a viable and sustainable living environment in Hastings, through the full use of the Community Development Law.



DC - Downtown Commercial

General Purpose

The Downtown Commercial land use district is focused on the traditional building pattern of Downtown Hastings as the community's original center for trade, service, and civic life. Structures in this area are typically built with brick or stone at the sidewalk line, with parking and storage limited to alleys. In addition, upper-story residential units provides flexible and affordable housing choices for Hastings residents.

Compatible Uses

1. Commercial retail and services uses
2. Accommodations and food/beverage services
3. Arts, entertainment, and recreation
4. Public art
5. Cottage industries
6. Multi-family residential development (such as upper-floor apartments over retail/services)
7. Mixed-use development
8. Public facilities (such as city hall, county courthouse, fire station, public utility substations, community centers, etc.)
9. Religious and Educational uses and structures
10. On-Site Renewable Energy facilities, within performance standards

Incompatible Uses

1. Ground level single-family residential development is discouraged unless there are unique circumstances
2. Drive-thru facilities and multiple driveways creating conflicts with pedestrians and on-street parking - banks require special design

Issues

1. Continuing to maximizing development potential downtown
2. Site drainage
3. Sidewalks and multi-modal accessibility

Special Policies

1. No minimum lot size recommended
2. New buildings should be constructed of substantial materials (such as brick or stone)
3. Exterior finishes should be reflective of general area of downtown district.
4. On-site parking should be minimized to encourage greater utilization of downtown lots and on-street parking
5. Design standards for infill or redevelopment, including historic preservation and activation of the public realm

Department: Development Services
Staff Contact: Chad Bunger, Ember Batelaan
Planning Commission Meeting Date: 3/18/2025
File No: 2025-87
Prepared By: Chad Bunger, Director of Development Services

AGENDA ITEM SUMMARY SHEET

Description of Item:

The Hastings Community Redevelopment Authority, on behalf of Queen City Development, LLC, has applied for a Redevelopment Plan Modification 2025-2 in Area #14 for the Trailside Village Redevelopment Project. The Redevelopment Plan Modification is to construct up to 31 new dwelling units on the vacant parcel generally located southeast of the intersection of East 31st Street and West Laux Drive.

The applicant has requested the use of tax increment financing (TIF) to pay for eligible expenses for the development, which can include acquisition, site preparation, and infrastructure improvements.

Names of People/Business affected by this action:

The applicant, the people of Hastings, the Community Redevelopment Authority, and the City

Why Planning Commission action is required:

Prior to recommending a redevelopment plan to the governing body for approval, an authority shall submit such plan to the planning commission or board of the city in which the redevelopment project area is located for review and recommendations as to its conformity with the general plan for the development of the city as a whole. The planning commission or board shall submit its written recommendations with respect to the proposed redevelopment plan to the authority within thirty days after receipt of the plan for review. Upon receipt of the recommendations of the planning commission or board or, if no recommendations are received within such thirty days, then without such recommendations, an authority may recommend the redevelopment plan to the governing body of the city for approval (N.R.S. 18-2112)

Type of action requested:

Motion

Suggested motion:

Deadlines associated with action:

The City Council is scheduled to review this Redevelopment Plan Modification on April 14, 2025.

Department head comments:

Development Services staff have reviewed the application for the Trailside Village Redevelopment Project and Redevelopment Plan Modification 2025-2 of Area #14. The complete details of the staff review and recommendation are in the attached staff report.

Recommendation:

Staff recommend the Planning Commission recommend APPROVAL to the City Council for the request for a Redevelopment Plan Modification for the Trailside Village Redevelopment Project, based on the findings in the staff report and the Redevelopment Plan Modification materials.



City of Hastings Planning Commission

STAFF REPORT

Request to Modify Trailside Village Redevelopment Project
Redevelopment Plan: (Plan Modification No. 2025-2)

Case No. Case No. 2025-87

Applicant Hastings Community Redevelopment Authority on behalf of the developer, Queen City Development, LLC

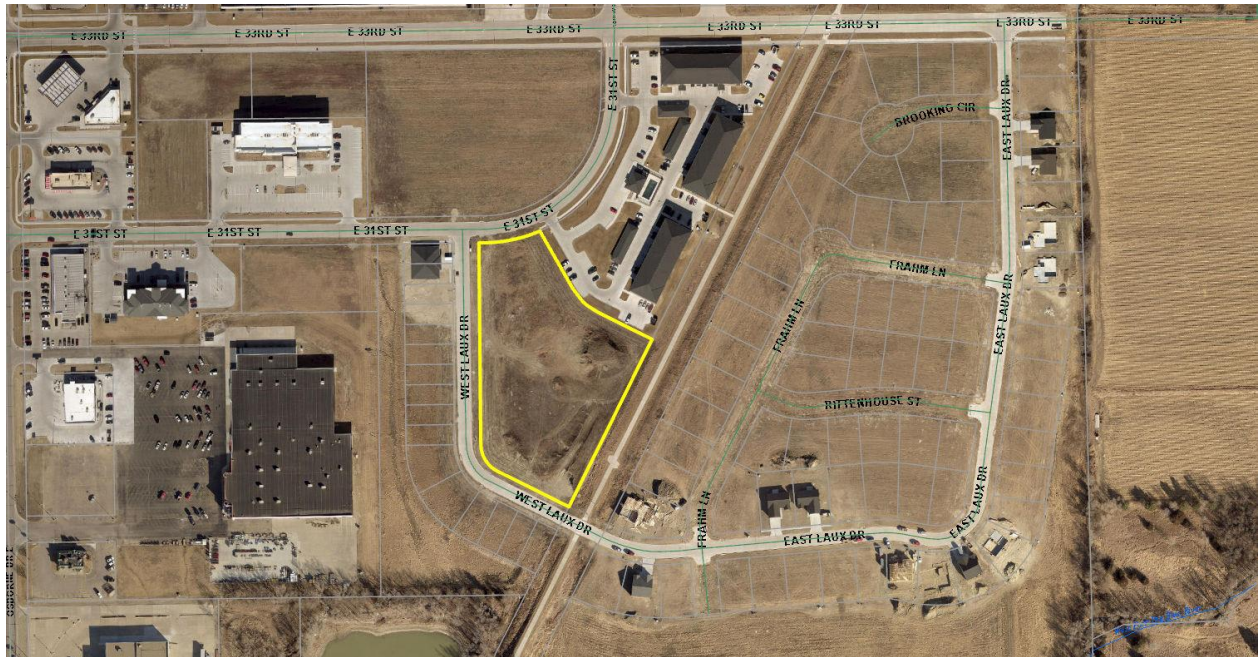
Property Location: Generally located southeast of the intersection of East 31st Street and West Laux Drive.

Lot Size: 3.56-acres (155,073 square feet)

Date of Public Hearing: March 18, 2026

Current Zoning R-3, Multiple-Family Residential District

Adjacent Zoning:
North: R-3 District, C-3, Commercial Business District, I-2, Heavy Industrial District
East: R-1, Urban Single-Family Residential District
South: R-3 District, R-1 District, I-1, Light Industrial District
West: R-3 District, C-3 District



DESCRIPTION OF PROPOSED REDEVELOPMENT PLAN MODIFICATION REQUESTS:

The Hastings Community Redevelopment Authority, on behalf of the developer, Queen City Development, LLC, has made an application for the Redevelopment Plan Modification of Area #14 for the site acquisition and development of a residential project. Queen City Development, LLC has requested the use of tax increment financing (TIF) to pay for eligible expenses for the development, which can include, site acquisition, site preparation and grading, building enhancements, and infrastructure improvements.

The developer will most likely request a rezoning to a PD, Planned District, following the approval of the Redevelopment Plan Modification, to allow for the more dense development. The development will also require a Final Plat to establish the individual lots, public rights-of-way, and needed easements.

The property is within Redevelopment Area #14. The Blight and Substandard Determination and General Redevelopment Plan were approved in September 2017. The redevelopment plan proposes the following planning and redevelopment actions:

General Development/Redevelopment Initiatives.

- Create an “Economic Development Initiative” for Redevelopment Area #14 directed at increasing the property tax base. Utilize TIF and other available sources of economic development funding, including State and Federal and Private Foundation Grants, as well as private investment, for the expansion of existing and the development of new residential and commercial uses in the Area in conformance with the City’s recently completed *Comprehensive Development Plan* and current *Zoning Regulations*, pending changes or amendments to both documents.
- Develop public and private partnerships with funding entities and property developers to attract residential, commercial and industrial development to Redevelopment Area #14. Partnerships can include, but are not limited to the Hastings Economic Development Corporation, Hastings Area Chamber of Commerce, Hastings Community Redevelopment Authority (CRA), Hastings Housing Authority, South Central Economic Development District and Community Action Partnership of Mid-Nebraska. Utilize the *Hastings Comprehensive Development Plan*, *Hastings Community Housing Study* and any other local, relevant planning documents to provide direction for Community development projects.
- Promote the development of undeveloped land areas within the Redevelopment Area, targeting tracts of land that are currently both functionally and economically obsolete. Large, undeveloped tracts of land in Redevelopment Area #14 should be planned for

selected mixed uses of commercial and residential development. Modern street and water/sewer systems should be in place to allow for development to occur.

- Create new commercial development opportunities in and around the former Walmart building. This could include the renovation and rehabilitation of the former Walmart building, as well as additional commercial retail bays for small and large-scale commercial entities. This will also enhance the attractiveness of the Area and create a new and vibrant commercial node in the City of Hastings.
- The City of Hastings and/or the Hastings CRA could designate an Enhanced Employment Area within the Redevelopment Area in accordance with Nebraska State Statutes 18-2142.02 through 18-2142.04. These Statutes allow for the City to levy a “general business occupation tax” to pay for any or all costs and expenses of a redevelopment project within the designated Area.
- Acquire dilapidated and functionally and economically obsolescent buildings/properties within the Redevelopment Area and retain or “land bank” these tracts for future development.
- Build and utilize alternative energy systems throughout Redevelopment Area #14. This would include the potential use of one or combinations of wind, solar, biomass, geothermal, hydropower and methane energy systems in both existing and new development areas and buildings.

Infrastructure & Utility Systems Initiatives.

- Replace, as needed, deteriorated and dilapidated municipal water, sewer and storm sewer mains throughout Redevelopment Area #14, to support both existing residential and commercial developments.
- Install modern water, storm sewer, sanitary sewer and transportation systems in undeveloped tracts of land in Redevelopment Area #14 to support future development opportunities.
- Establish a program to improve the existing sidewalks, streets, street lighting, landscaping, private driveways, access roads and parking areas in the Area, identified as being in a state of deterioration and in substandard condition.

The proposed redevelopment, named Trailside Village Redevelopment Project, would redevelop the property generally located southeast of the intersection of East 31st Street and West Laux Drive.

The proposed project would create a residential neighborhood of up to 14 semi-attached dwellings (duplexes) and one attached dwelling (townhouse) with three dwelling units for up to 31 dwellings. Each dwelling will be two-story, with 3-bedrooms, 2.5 bathrooms in 1,500 square feet of above-grade living space, and a 750 square foot unfinished basement with the plumbing roughed-in.

The application states that these units will be offered for lease for the first 7 – 10 years of the development. The homes will be sold to individual home buyers after that period. The application materials state, “This business model strategy encourages the development of a high quality, highly desirable, enduring housing development, that will create a positive community impact and will ultimately allow the opportunity.”

A new public street will be constructed between East 31st Street and West Laux Drive in roughly the center of the property. The townhouse and seven of the duplexes will face West Laux Drive and gain off-street parking access from the new street. The remaining seven duplexes will be located along private access roads/driveways that will connect to the new street. Additional off-street parking will be provided along this street. Common green space will be provided throughout the development and a connection to the public trail to the east will be provided.

Property Description:

The 3.56-acre development site is generally flat. The site gains access from West Laux Drive and East 31st Street. To the east is the Pioneer Spirit Trail multi-use trail.

STANDARDS TO PROPOSED REDEVELOPMENT PLAN MODIFICATION:

The provisions of N.R.E 18-2117 regulate the process of modifying a redevelopment plan within the City and its extraterritorial jurisdiction for a proposed development.

The City Council, by recommendation from the City Planning Commission, will base its decision on the following:

- a) **Is the proposed redevelopment plan modification feasible and in conformity with the Comprehensive Plan (general plan) for the development of the City of Hastings, as a whole, and is in conformity with the legislation declarations and determinations.**

Based on the application materials provided by the Hastings CRA, the proposed redevelopment project appears to be feasible. The developer has a track record of completing development projects within Hastings. The developer has established partnerships with local and regional industry leaders who have experience providing these types of homes in other parts of the state and country.

The proforma documented in the application appears to be reasonable, using appropriate expenses and revenue for the development.

The City of Hastings “Imagine Hastings” Comprehensive Plan, adopted in 2009, initially showed the site as being Employment/Industrial. In 2018, the City Council adopted Ordinance No. 4567 amending the Comprehensive Plan to have the site and surround area designated as Mixed Use Neighborhood. The policy statement for this use designation is:

A Mixed-Use -Neighborhood center consists of a small commercial/retail center providing locally focused services that may include a residential component. Convenience goods, such as smaller specialty grocery store, personal services (dry cleaning, beauty salon, bank), restaurants, gas stations and small office uses are the primary commodities and services that are provided within Mixed-Use – Neighborhood centers. Typically in the range of 30,000 to 70,000 square feet in size, these centers are intended to serve the immediately adjacent neighborhoods and strive to offer a limited balance of food, personal service and local office space. Depending on their size, neighborhood centers need the support of 2,000 to 4,000 households or an average population of 4,700 to 9,400 people, based on average household size. To promote the compact, walkable centers, most of that population should be accommodated within ½ mile of the center. Small institutional uses such as a churches, libraries or schools are also appropriate for Mixed-Use - Neighborhood centers.

The proposed development would provide a number of elements envisioned by the 2009 Comprehensive Plan, including the residential component.

The new 2025 City of Hastings Comprehensive Plan is expected to be adopted by the City Council on March 24, 2025. The new Comprehensive Plan’s Future Land Use Map shows the site as High Density Residential. The policy statements for this land use category are:

General Purpose

The High Density Residential land use district includes both existing and new residential neighborhoods with multi-family residential development on moderate to large-sized lots with supporting community facilities. It is intended to encourage creative development patterns. Streets are paved with sidewalks, curb, and gutter. This land use type is ideally located near intersections of arterial streets to act as a buffer between more high intensity uses and lower density residential uses.

Compatible Uses

1. *Missing Middle residential development (such as cottage court, townhouses, duplex, fourplex)*

2. *Multi-family residential development/apartment complexes*
3. *Residential care facilities*
4. *Large-scale mixed-use development*
5. *Public facilities (such as fire stations, public utility substations, community centers, etc.)*
6. *Religious and Educational uses and structures*
7. *Renewable Energy facilities, within performance standards*

Incompatible Uses

1. *Industrial uses*
2. *Commercial uses, except in large-scale mixed use developments*

Issues

1. *Off-site impacts - visual, noise odors, runoff*
2. *Traffic and site access*
3. *Natural amenities such as trees and waterways*
4. *Topography and drainage*
5. *Municipal water and sewer availability*
6. *Sidewalks and multi-modal accessibility*

Special Policies

1. *Densities should start at 15 or above dwelling units per acre*

The proposed development will provide compatible uses listed in the policy statements and help address sidewalks and multi-modal accessibility to the surrounding neighborhood and nearby trail. The proposed density for the development will be 8.7 dwelling units per gross acre. This is lower than envisioned by the Comprehensive Plan, but it is a function of the design of the development as duplexes and a tri-plex, as well as the unique shape of the lot.

The proposed Redevelopment Plan Modification generally conforms to the soon to be adopted 2025 City of Hastings Comprehensive Plan.

- b) If the proposed redevelopment plan is to use tax increment financing (TIF):**
- i. Would the redevelopment project in the plan be economically feasible without the use of tax-increment financing?**

Based on the information provided in the Trailside Village Redevelopment Plan Modification application materials, the proposed development would not be economically feasible for the developer without the use of tax increment financing.

The financial plan for the project shows the total expenses to be \$9,200,00. The sources of funds used to pay for the project include bank financing (\$5,900,00), owner equity (\$900,000), and Rural Workforce Housing Loan (\$1,000,000). The total of these funds is \$7,800,000.

The developer is seeking \$1,400,000 in TIF funding, which will be in the form of a loan amortized over 15 years. These funds will cover the gap in financing and other funding sources for the development.

As stated in the Proforma Operating statement on page 8 of the plan modification documents, “Without the availability of TIF funding for the project, it would not be feasible for the developer to proceed with this redevelopment.” The rate of return for the developer for the first four years of development without TIF funding is -10.34% to -9.78%. The rate of return for the same time period with the tax increment financing would be 0.03% to 0.55%.

The negative return on investment rate is unacceptable terms for a for-profit developer.

ii. Would the redevelopment project not occur in the community redevelopment area without the use of tax-increment financing?

This lot was created in 2018 as part of the Pioneer Trail Flats Subdivision, as part of the larger North Park Commons development. The North Park Commons development is part of Redevelopment Area #14 and was created for commercial and residential growth. To date, no

The proposed development will provide up to 31 dwellings in a unique setting not currently found in Hastings. This type of housing is considered workforce housing, a housing type shown to be in need in the City.

As stated above, without TIF to serve as financing to fill a gap in the proforma, this development will most likely not occur at this site or in the City of Hastings.

iii. Is the costs and benefits of the redevelopment project, including costs and benefits to other affected political subdivisions, the economy of the community, and the demand for public and private services in the long-term best interest of the community impacted by the redevelopment project?

Based on the information in the redevelopment plan modification documentation, the proposed development will be in the long-term best interest of the community.

The proposed development will create up to 31 dwellings in duplexes and triplexes that would be considered workforce housing. The development plan is

to provide the units for rent 7-10 years. Following that period, the developer intends to sell each unit and the land associated with it. This type of housing has been shown as a need within the city and the region.

The proposed development will not displace any existing residents and will effectively utilize the existing infrastructure installed to serve the area. The development should not require additional investment in public services like police or fire protection.

The property currently has an assessed valuation of \$13,250 and generates real estate property tax revenue of \$264. Following the completion of the project, an additional valuation of 7,386,750 is anticipated. This will generate an annual review of roughly \$147,555. For the duration of the TIF note (maximum 15-years), this review will go towards the development. Once the TIF note is retired, the increased tax review will go to the respective taxing entities.

- c) Is the proposed redevelopment plan within a designated enhanced employment area? If so, will the new investments proposed with the redevelopment plan modification increase employment in the area by five new employees and new investment of \$250,000?** This standard does not apply, as the area is not in a designated enhanced employment area.

STAFF COMMENTS: Staff recommend the Planning Commission recommend **APPROVAL** to the City Council for the request for a Redevelopment Plan Modification for the Trailside Village Redevelopment Project, based on the findings in the staff report and the Redevelopment Plan Modification materials.

PREPARED BY: Chad Bunger, AICP, CFM Director of Development Services

DATE: March 10, 2025

ATTACHMENTS:

1. Redevelopment Plan Modification Application
2. Application materials including site plan and building plans
3. 2009 Imagine Hastings Future Land Use Map
4. 2025 City of Hastings Comprehensive Plan
5. 2018 Area Number 18 Blight and Substandard Determination Study and General Redevelopment Plan



Zoning Application

Date: 02/24/2025

Project

Permit Type:	Redevelopment Plan Amendment	Existing Zoning:	R-3, Multiple Family Residential
Project Name:	Trailside Village Redevelopment Project	Proposed Zoning:	R-3, Multiple Family Residential
Project Address:	West Laux and 31st Street	Comprehensive Plan:	R-3 Multi Family Planned District
City, State, Zip:	HASTINGS, NE 68901	Gross Area:	158123
In City Limits:	Yes	# of Lots:	1
Legal:		Proposed Use:	Multi family residential

Reason for Request: Plan Modification No. 2024-1 to Redevelopment Area #14

Applicant / Owner

Applicant Name:	Randal Chick	Owner Name:	HASTINGS ECONOMIC DEVELOPMENT CORPORATION
Company:	Community Redevelopment Authority of the City of Hastings	Address:	301 S BURLINGTON AVE
Address:	301 SOUTH BURLINGTON	City, State, Zip:	HASTINGS, NE 68901-0000
City, State, Zip:	Hastings	Phone:	
Phone:	4024618415	Email:	
Email:	cra@redevelophastings.com		

Key Contact

Key Contact:	Dave Rippe	Address:	701 W. 1st Street
Company:	Queen City Development	City, State, Zip:	Hastings, NE 68901
Phone:	402 705 7283	Email:	dave@queencityne.com

I do hereby certify that the information contained herein is true and correct.

Randal Chick
Applicant

02/24/2025
Date

Owner

02/24/2025
Date

REDEVELOPMENT PLAN #14
PLAN MODIFICATION NO. 2025-2
(Trailside Village Redevelopment Project)

The Community Redevelopment Authority (CRA) of the City of Hastings intends to amend the Redevelopment Plan for Area #14 within the city, pursuant to the Nebraska Community Development Law (the "Act") and provide for the financing of a specific redevelopment related project in Area #14.

Executive Summary:

Project Description

The Trailside Village project is a pilot project, intended to innovatively address Hastings' need for workforce housing. The build-to-rent community is intended to uniquely leverage the strengths and motivations of a progressive community, a leader in the manufactured housing industry, local development and construction expertise, and philanthropic impact investing.

Up to fourteen duplexes and one triplex (31 total units) will be developed as semi-detached single-family housing units, with basements, in a community setting, allowing the housing units to be initially leased (for the first 7-10 years of the project) and ultimately sold individually to single family home buyers. This business model strategy encourages the development of a high quality, highly desirable, enduring housing development, that will create a positive community impact and will ultimately allow the opportunity for individuals and families to build equity and contribute to the strengthening of their community.

Units will be 3-bedroom, 2.5 bathroom, 2 story homes, will have 1,500 square feet of finished, above grade space, and 750 square foot basements. The unfinished basements will have 9' sidewalls, an egress window, and rough ins for plumbing.

TAX INCREMENT FINANCING TO PAY FOR ACQUISITION AND OTHER TIF ELIGIBLE IMPROVEMENTS WILL COME FROM THE FOLLOWING REAL PROPERTY:

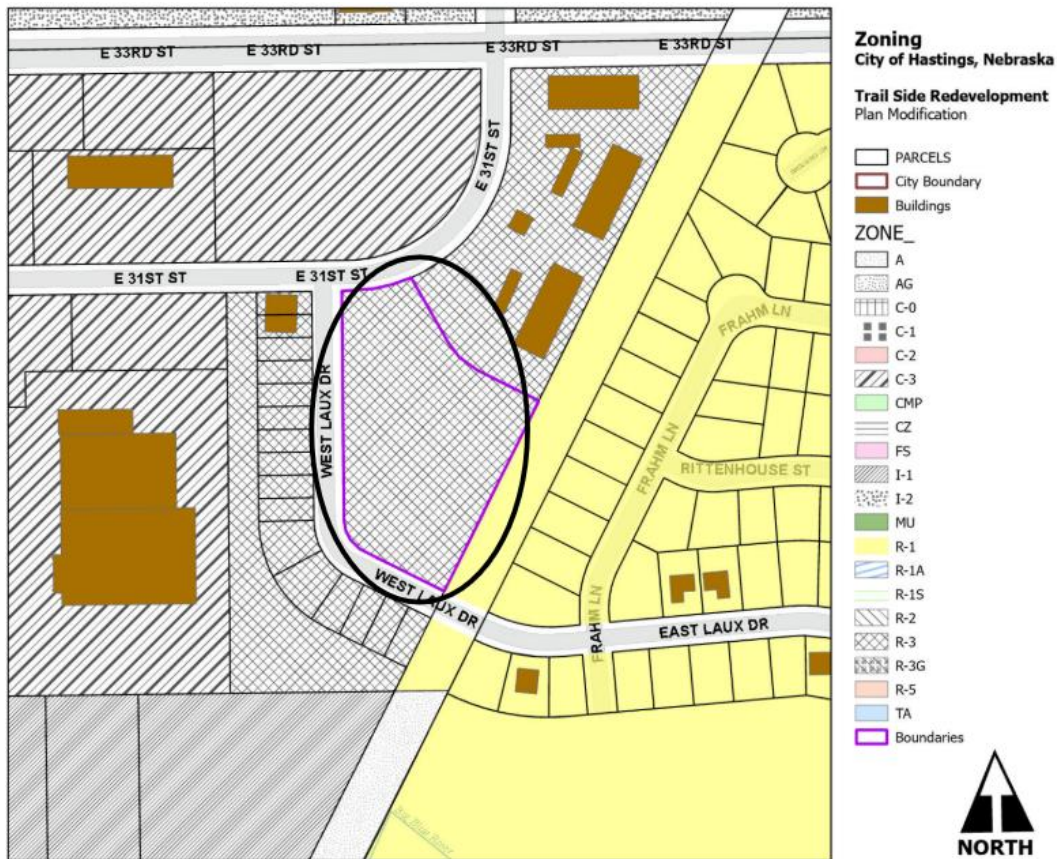
Property Description (the "Redevelopment Project Area")

East of West Laux Drive and south of 31st Street, Hastings, Nebraska

Legal Description: Lot 1, Block 2, North Park Commons Addition of Hastings, Adams County, Nebraska

The Project shall utilize the benefits of the Nebraska Community Development Law, including the use of tax increment financing for eligible costs which shall include, but not be limited to; acquisition costs for the Project Site, site preparation and site grading, architecture and Engineering costs, sewer, water, paving and storm sewer, façade Enhancements, and capitalized interest TIF loan.

Map of Existing Land Use and Proposed Redevelopment Site



The tax increment will be captured for the tax years 2026 through 2040 inclusive.

The real property ad valorem taxes on the current valuation will continue to be paid to the normal taxing entities. The increase in value will come from the construction of up to fourteen duplexes and one triplex (31 total units) of semi-detached single-family housing units, as permitted in the R-3 Multi Family Planned District. The tax increment will be captured for the tax years 2026 through 2040 inclusive. Provided, however, if there is no increase in valuation for the 2026 tax year, the increment will be captured beginning in the year when an increase in value is available for capture and ending fifteen years later.

Project costs for the acquisition, site development, installation of public infrastructure, and construction of semi-detached residential housing estimated to be \$9,200,000. The anticipated project valuation when completed is \$7,400,000 and the developer projects an incremental valuation increase of 7,386,750.

Statutory Pledge of Taxes.

In accordance with Section 18-2147 of the Act and the terms of the issuance of the TIF Note, the Authority hereby provides that any ad valorem tax on the Redevelopment Project Area for the benefit of any public body be divided for a period of fifteen years after the effective date of this provision as set forth in the Redevelopment Contract, consistent with this Redevelopment Plan. Said taxes shall be divided as follows:

- a) That portion of the ad valorem tax which is produced by levy at the rate fixed each year by or for each public body upon the current redevelopment project area valuation shall be paid into the funds, of each such public body in the same proportion as all other taxes collected by or for the

bodies; and

- b) That portion of the ad valorem tax on real property in the redevelopment project in excess of such amount, if any, shall be allocated to and, when collected, paid into a special fund of the Authority to pay the principal of; the interest on, and any premiums due in connection with the bonds, loans, notes, or advances on money to, or indebtedness incurred by, whether funded, refunded, assumed, or otherwise, such Authority for financing or refinancing, in whole or in part, a redevelopment project. When such bonds, loans, notes, advances of money, or indebtedness including interest and premium due have been paid, the Authority shall so notify the County Assessor and County Treasurer and all ad valorem taxes upon real property in such redevelopment project shall be paid into the funds of the respective public bodies.

Pursuant to Section 18-2150 of the Act, the ad valorem tax so divided is hereby pledged to the repayment of loans or advances of money, or the incurring of any indebtedness, whether funded, refunded, assumed, or otherwise, by the CRA to finance or refinance, in whole or in part, the redevelopment project, including the payment of the principal of, premium, if any, and interest on such bonds, loans, notes, advances, or indebtedness.

Redevelopment Plan Amendment Complies with the Act:

The Community Development Law requires that a Redevelopment Plan and Project consider and comply with a number of requirements. This Plan Amendment meets the statutory qualifications as set forth below.

- 1. The Redevelopment Project Area was first declared blighted and substandard by action of the Hastings City Council on September 11, 2017. Such declaration was made after a public hearing with full compliance with the public notice requirements of §18-2115 of the Act.**
- 2. Conformation to the General Plan for the Municipality as a whole.**

Hastings adopted a Comprehensive Plan on February 24, 2009 and intends to adopt a new comprehensive Plan in March of 2025. This redevelopment plan amendment and project are consistent with the 2009 Comprehensive Development Plan and with the 2025 Comprehensive Development Plan, in that no changes in the Comprehensive Development Plan elements are intended. This plan merely provides funding for the developer to construct housing for residential uses on this property as defined by the current and effective zoning regulations. The Hastings Planning Commission will hold a public hearing at their meeting on March 18, 2025 to review Plan Modification No. 2025-2 to the Redevelopment Plan for Area #14 confirming that this project is consistent with the Comprehensive Development Plan for the City of Hastings.

- 3. The Redevelopment Plan must be sufficiently complete to address the following items: (§18-2103/13) (b)**
 - a. Land Acquisition:**

The Redevelopment Plan for Area No. 14 provides for real property acquisition and this plan amendment does not prohibit such acquisition. Queen City Development, LLC, or their assignee, plans to purchase the property prior to the start of construction of the Project.

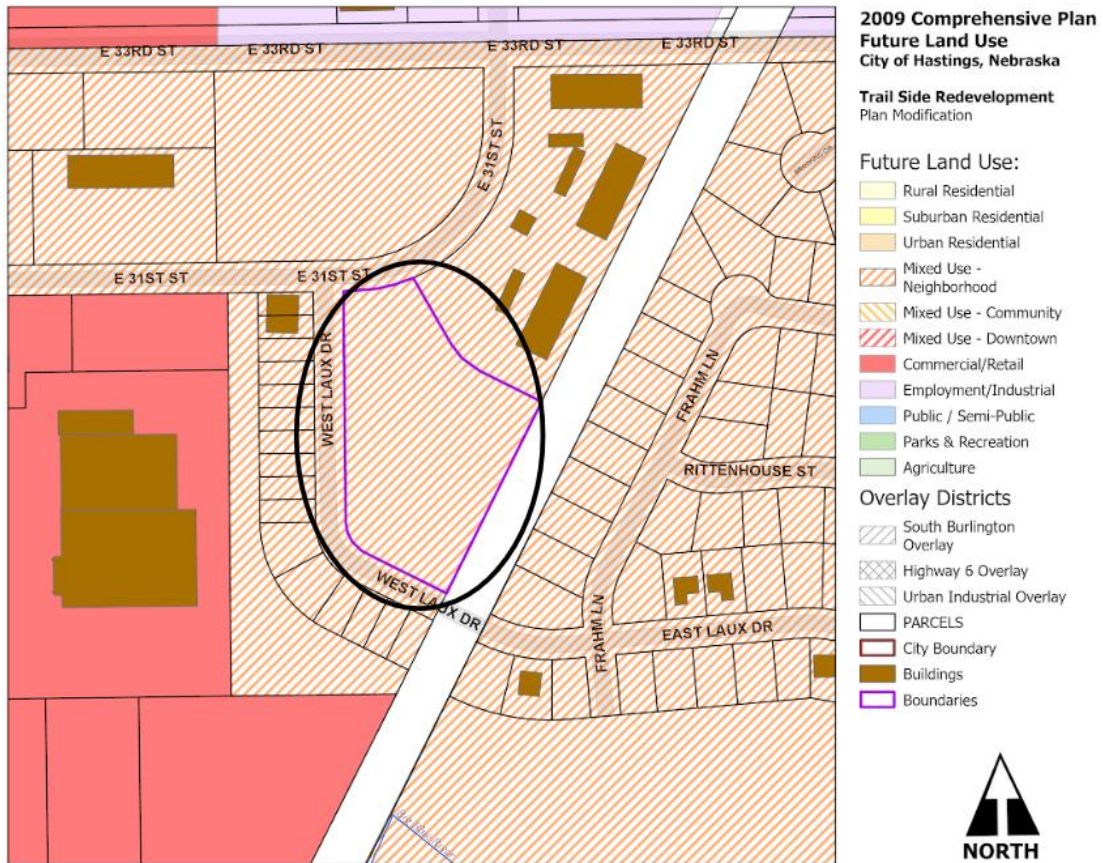
- b. Demolition and Removal of Structures:**

The project to be implemented with this plan does not provide for the demolition and removal of any structures on this property.

- c. Future Land Use Plan**

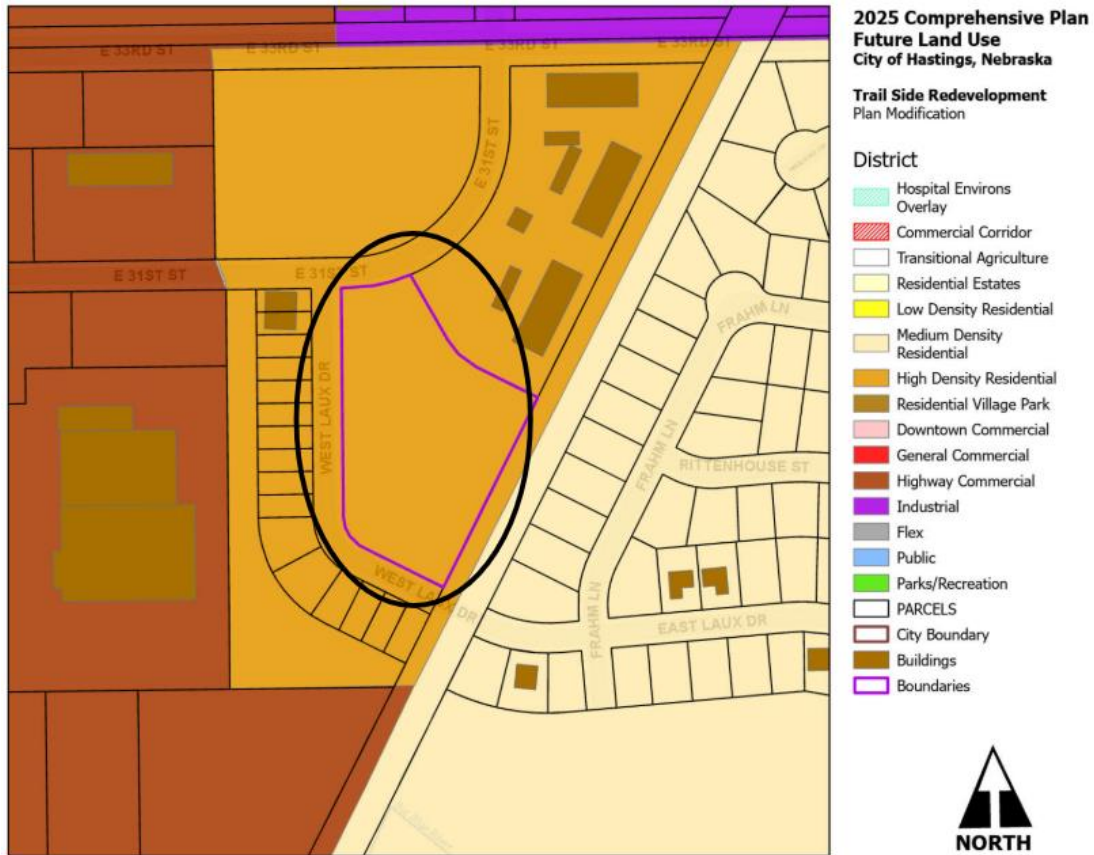
See the attached maps from the 2009 Hastings Comprehensive Development Plan and the 2025 Comprehensive Redevelopment Plan. The Project Site was originally identified as “Employment/Industrial” in the 2009 Comprehensive Development Plan. The City Council approved an amendment to the Comprehensive Plan Future Land Use Map in 2018 for this site and surrounding area, changing the future land use designation to “Mixed Use – Neighborhood” which is consistent with this Amendment. The site is planned for multi-family residential development and ancillary uses of the area after redevelopment as required by Section 18-2111(5) of the Nebraska Community Development Law.

Future Land Use Map – 2009 Comprehensive Plan



The site is identified as “High Density Residential” in the 2025 Comprehensive Development Plan which is consistent with this Amendment. The site is planned for multi-family residential development and ancillary uses of the area after redevelopment as required by Section 18-2111(5) of the Nebraska Community Development Law.

Future Land Use Map – 2025 Comprehensive Plan



d. Changes to zoning, street layouts and grades or building codes or ordinances or other planning changes

The area is zoned R-3 Multi-Family District and a change to R-3 Multi-Family Planned District is anticipated to allow a greater density of units. Streets, public parking and access to the Pioneer Spirit Trail will be constructed as part of the project. No other changes are anticipated in street layouts or grades. No changes are anticipated in building codes or ordinances nor are any other planning changes contemplated. [§18-2103(b) and §18-2111]

e. Site Coverage and intensity of Use

The developer plans to construct up to fourteen duplex (28) and one triplex (3) units (31 total) as semi-detached single-family housing units, with basements, in a community setting. The buildings will meet the applicable regulations regarding site coverage and intensity of use after the rezoning takes place. [§18-2103(b) and §18-2111]

f. Additional Public Facilities or Utilities

Sewer, water, gas and electric are available to support this development. The developer will be required to extend new water and sewer mains and streets to convert this property into the proposed uses.

4. The Act requires a Redevelopment Plan provide for relocation of individuals and families

displaced as a result of plan implementation. This property has previously been vacant and no relocation is contemplated or necessary. [§18-2103.02]

5. No member of the Authority, nor any employee thereof holds any interest in any property in this Redevelopment Project Area. [§18-2106]

6. Section 18-2114 of the Act requires that the Authority consider:

1. Method and cost of acquisition and preparation for redevelopment and estimated proceeds from disposal to redevelopers.

The developer plans to purchase the property and acquisition is part of the request for tax increment financing. The CRA has been asked to provide \$1,400,000 in TIF funding to this project to offset the cost of TIF eligible expenditures. The CRA has identified the following TIF eligible expenses for the developers' proposed improvements;

- a) site acquisition - \$500,000
- b) architectural & engineering services - \$120,000
- c) sewer, water, paving and utility development - \$780,000
- d) façade enhancements that exceed the minimum standards - \$300,000
- e) capitalized interest TIF loan - \$63,000

The total TIF eligible expenses for this project are \$1,763,000. The property will be purchased by the developer and the developer will provide and secure all necessary financing.

2. Statement of proposed method of financing the redevelopment project.

The developer will provide all necessary financing for the project. The Authority will assist the project by granting the sum of \$1,400,000 from the proceeds of the TIF. This indebtedness will be repaid from the Tax Increment Revenues generated from the project. TIF revenues shall be made available to repay the original debt and associated interest after January 1, 2026 through December 2040.

3. Statement of feasible method of relocating displaced families.

No families will be displaced as a result of this plan.

7. Section 18-2113 of the Act requires:

Prior to recommending a redevelopment plan to the governing body for approval, an authority shall consider whether the proposed land uses and building requirements in the redevelopment project area are designed with the general purpose of accomplishing, in conformance with the general plan, a coordinated, adjusted, and harmonious development of the city and its environs which will, in accordance with present and future needs, promote health, safety, morals, order, convenience, prosperity, and the general welfare, as well as efficiency and economy in the process of development, including, among other things, adequate provision for traffic, vehicular parking, the promotion of safety from fire, panic, and other dangers, adequate provision for light and air, the promotion of the healthful and convenient distribution of population, the provision of adequate transportation, water, sewerage, and other public utilities, schools, parks, recreational and community facilities, and other public requirements, the promotion of sound design and arrangement, the wise and efficient expenditure of public funds, and the prevention of the recurrence of insanitary or unsafe dwelling accommodations or conditions of blight.

The Authority has considered these elements in proposing this Plan Amendment. This amendment, in and of itself will promote consistency with the 2009 Hastings Comprehensive Development Plan and the 2025 Comprehensive Development Plan by providing the following benefits;

- Prioritize public funding for projects incorporating affordable, missing middle and/or workforce housing.
- Explore partnerships with local housing manufacturers to develop home plans that can be constructed on infill lots.
- Explore shared risk loan pools for higher-risk workforce and affordable housing projects.

8. Time Frame for Development

Development of this project is anticipated to be completed between the 2nd quarter of 2025 and the winter of 2025. Excess valuation should be available for this project for 15 years beginning with the 2026 tax year.

9. Justification of Project

The project will provide new opportunities to address “missing middle” housing, as well as to meet the housing demand of area employers looking to attract new people to Hastings. The units will be developed as semi-detached single-family housing allowing the housing units to be initially leased and ultimately sold individually to single family home buyers. This business model strategy encourages the development of a high quality, desirable, enduring housing development, that will create a positive community impact and will ultimately allow the opportunity for individuals and families to build equity and contribute to the strengthening of their community.

10. Cost Benefit Analysis

Section 18-2113 of the Act, further requires the Authority conduct a cost benefit analysis of the plan amendment in the event that Tax Increment Financing will be used. This analysis must address specific statutory issues.

As authorized in the Nebraska Community Development Law, §18-2147, Neb. Rev. Stat. (2012), the City of Hastings has analyzed the costs and benefits of the proposed Redevelopment Project, including:

Project Sources and Uses.

Approximately \$1,400,000 in public funds from tax increment financing provided by the Hastings Community Redevelopment Authority will be required to complete the project. This investment by the Authority and the City will leverage \$7,800,000 in private and public sector financing; a private investment of \$6.57 for every public/TIF dollar of investment.

USE OF FUNDS		SOURCE OF FUNDS	
Site Acquisition	\$500,000	Bank Financing	\$5,900,000
Sewer, water, paving & utilities	\$780,000	Owner Equity	\$900,000
Engineering & architecture	\$120,000	Rural Workforce Housing Loan	\$1,000,000
Interior and Exterior Construction	\$7,800,000	TIF Loan	\$1,400,000
TOTALS	\$9,200,000	TOTALS	\$9,200,000

Tax Revenue. The property to be redeveloped has a January 1, 2024, valuation of \$13,250. Based on the 2024 levy rate this would result in real property taxes of approximately \$264.68 which will continue to be paid out to all the existing taxing entities. It is anticipated that the assessed value will increase by \$7,386,750 upon full completion, as a result of the building redevelopment. This development will result in an additional estimated tax increase of \$147,555 annually. This tax increment gained

from the Redevelopment Project Area would not be available for use as city general tax revenues, for a period of 15 years, or such shorter time as may be required to amortize the TIF bond, but would be used for TIF eligible redevelopment costs to enable this project to be realized.

2024 assessed value:	\$13,250
Annual City portion of property taxes	\$174.53
Estimated value after completion	\$7,400,000
Increment value	\$7,386,750
Annual TIF generated (estimated)	\$147,555
Annual increased Taxes not available to City	\$29,164
Annual increased taxes not available to County	\$25,707

Statement Identifying Financial Gap and Necessity for use of Tax Increment Financing for proposed Project:

A large financial gap exists on this project after conventional financing is utilized. A combination of owner equity, TIF, and Rural Workforce Housing Loan Funds are needed to make the project feasible. The developer is contributing owner equity and other financing of \$7,800,000 and TIF funds are intended to fill the remaining gap, making this project feasible. The project is asking for \$1,400,000 in a TIF loan amortized over 15 years. Without the availability of TIF funding for the project, it would not be feasible for the developer to proceed with this redevelopment. Please see the table below which shows rate of returns from -10.34% to -9.78% without TIF funding which is an unacceptable return on investment in today's market.

Proforma Operating Statement w/o TIF						
			<u>Year 1</u>	<u>Year 2</u>	<u>Year 3</u>	<u>Year 4</u>
Rent Revenue			\$ 736,176	\$ 743,538	\$ 750,973	\$ 758,843
Expenses			<u>\$(302,709)</u>	<u>\$(308,473)</u>	<u>\$(314,352)</u>	<u>\$(320,349)</u>
NOI Without TIF			\$ 433,467	\$ 435,065	\$ 436,621	\$ 438,494
			\$ (40,000)	\$ (40,000)	\$ (40,000)	\$ (40,000)
Debt Service			\$(486,549)	\$(486,549)	\$(486,549)	\$(486,549)
Cash Flow Without TIF			\$ (93,082)	\$ (91,484)	\$ (89,928)	\$ (88,055)
Cash on Cash Return			-10.34%	-10.16%	-9.99%	-9.78%
Owner Equity			\$ 900,000	\$ 900,000	\$ 900,000	\$ 900,000

Proforma Operating Statement with TIF						
			<u>Year 1</u>	<u>Year 2</u>	<u>Year 3</u>	<u>Year 4</u>
Rent Revenue			\$ 736,176	\$ 743,538	\$ 750,973	\$ 758,483
Expenses			<u>\$(302,709)</u>	<u>\$(308,473)</u>	<u>\$(314,352)</u>	<u>\$(320,349)</u>
NOI Without TIF			\$ 433,467	\$ 435,065	\$ 436,621	\$ 438,134
RWHL Debt Service			\$ (40,000)	\$ (40,000)	\$ (40,000)	\$ (40,000)
Debt Service			\$(393,169)	\$(393,169)	\$(393,169)	\$(393,169)
Cash Flow Without TIF			\$ 298	\$ 1,896	\$ 3,452	\$ 4,965
Cash on Cash Return			0.03%	0.21%	0.38%	0.55%
Owner Equity			\$ 900,000	\$ 900,000	\$ 900,000	\$ 900,000

(a) Tax shifts resulting from the approval of the use of Tax Increment Financing;

The redevelopment project area currently has a valuation of \$13,250. The proposed redevelopment will create additional valuation of \$7,386,750. No tax shifts are anticipated from the project. The project creates new valuation from the construction of semi-detached residential housing units which will support taxing entities long after the project is paid off.

(b) Public infrastructure and community public service needs impacts and local tax impacts arising from the approval of the redevelopment project;

No additional public service needs have been identified. Existing water and waste water facilities will not be impacted by this development. The electric utility has sufficient capacity to support the development. Sewer, water, paving and utility extensions to serve the project will be constructed as part of development. Fire and police protection are available and should not be negatively impacted by this development.

(c.) Impacts on employers and employees of firms locating or expanding within the boundaries of the area of the redevelopment project; and

This project will not have a negative impact on employers and employees of firms locating within the boundaries of the redevelopment area but will create increased housing opportunities for employees and employers.

(d.) Impacts on other employers and employees within the city or village and the immediate area that are located outside of the boundaries of the area of the redevelopment project; and

This project will not have a negative impact on other employers in any manner different from any other expanding business within the Hastings area and will create increased housing opportunities for employees and employers throughout the community.

(e) Impacts on student populations of school districts within the City or Village:

The average number of persons per household in Hastings according to the US Census Bureau is 2.3 occupants. According to current census numbers less than 20% of the population of Hastings is between the ages of 5 and 18. If the averages hold it would be expected that a maximum of 71 people would be housed at this location and there would be approximately 14 school age children generated by this development. These children will likely be spread over the full school age population from elementary to secondary school. It is anticipated that there will be no adverse impact on the local school districts.

(f) Any other impacts determined by the authority to be relevant to the consideration of costs and benefits arising from the redevelopment project.

This project is consistent with the goals of the City's Comprehensive Plan, the 2021 Hastings Housing Needs Assessment, and HEDC's and the CRA's goal to increase workforce and missing middle housing in the community. The project will result in increased housing opportunities and add significant valuation to the area.

Time Frame for Development

Development of this project is anticipated to be completed between the 2nd quarter of 2025 and the 1st quarter of 2026. The base tax year should be calculated on the value of the property as of January 2025. Excess valuation should be available for this project for 15 years beginning in 2026 with taxes

due in 2027. Excess valuation will be used to pay the TIF Indebtedness issued by the CRA per the contract between the CRA and the developer for a period not to exceed 15 years on an amount of \$1,400,000, the projected amount of increment based upon the anticipated value of the project and current tax rate.

Q00 - BONNAVILLA - ZONE 4

1483 PER UNIT X 2 = 2966 SQ. FT.



DEALER

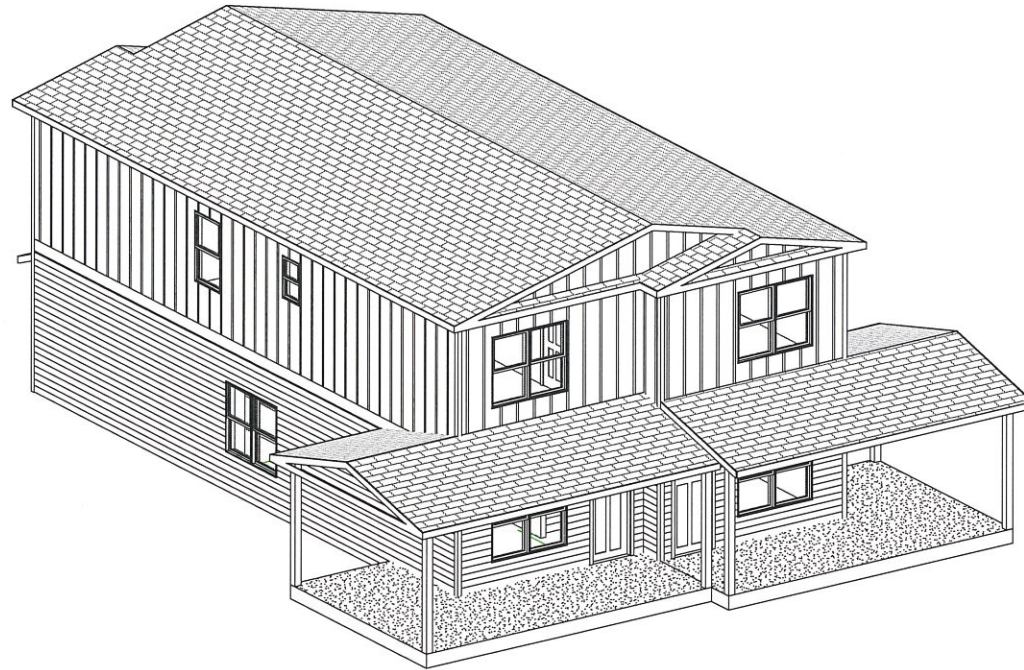
BONNAVILLA
111 GRANT STREET
P.O. BOX 127
AURORA, NE 68818
402.694.5250

CUSTOMER

ZONE 4
HASTINGS, NE 68901

SHEET LIST

NO.	SHEET NAME
00	COVER SHEET
01A	1ST FLOOR PLAN
08A	ELECTRICAL PLAN 1ST FLR
08B	ELECTRICAL PLAN 2ND FLR
09A	EXTERIOR ELEVATIONS
09B	EXTERIOR ELEVATIONS
14	FOUNDATION PLAN
15A	CABINET DETAILS - UNIT 1
15B	CABINET DETAILS - UNIT 2
16	BUILDING SECTION

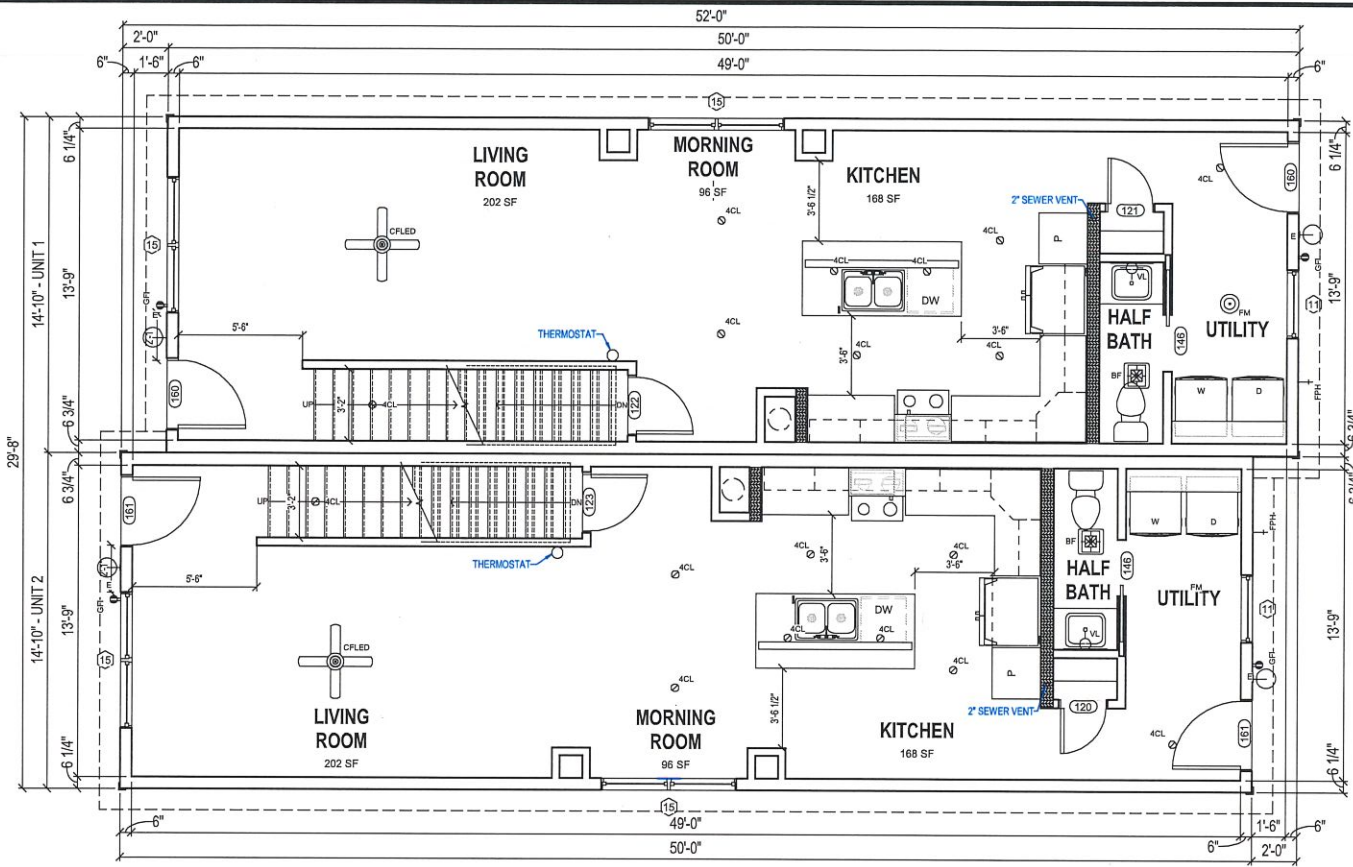


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THESE DRAWINGS AND THE DESIGN SHOWN HAVE BEEN PREPARED FOR THIS SPECIFIC PROJECT AS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE SOLE PROPERTY OF BONNAVILLA HOMES AND THEIR CONSULTANTS. ANY REPRODUCTION, COPYING OR USE OTHER THAN FOR THIS SPECIFIC PROJECT IS PROHIBITED WITHOUT THE PRIOR WRITTEN CONSENT OF BONNAVILLA HOMES. ANY PROHIBITED USE OF THESE DRAWINGS OR DESIGN ARE SUBJECT TO LEGAL ACTION.

DRN. BY: KSE	DATE: 8/28/24	DRN. BY: KSE	DATE: 8/28/24
DWG No. 00		DWG No. 00	
SITE ADDRESS HASTINGS, NE		CUSTOMER: ZONE 4	
DRAWING TITLE COVER SHEET		DEALER BONNAVILLA	
		CODE: 2018 IRC FLOOR: 40 PSF ROOF: 40 PSF ZONE: 40 PSF WIND: 115 V.U.T. MPH	
QUOTE NO.: Q00		PID: 7535	
PRELIMINARY ISSUE			

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1 1ST FLOOR PLAN
 01A SCALE (22x34): 3/8" = 1'-0"
 SCALE (11x17): 3/16" = 1'-0"

EXTERIOR DOOR SCHEDULE					
ID #	QTY	DESCRIPTION	SWING	JAMB	COMMENTS
160	2	36"x80" 3-PANEL FIBERGLASS	RIGHT	6"	
161	2	36"x80" 3-PANEL FIBERGLASS	LEFT	6"	

INTERIOR DOOR SCHEDULE					
ID #	QTY	DESCRIPTION	SWING	JAMB	COMMENTS
120	1	24"x80"	RIGHT	4 1/2"	
121	1	24"x80"	LEFT	4 1/2"	
122	7	30"x80"	RIGHT	4 1/2"	
123	7	30"x80"	LEFT	4 1/2"	
146	2	30"x80" SINGLE POCKET	NA	4 1/2"	
148	4	48" BI-PASS DOORS	NA	4 1/2"	

WINDOW SCHEDULE			
ID #	QTY	DESCRIPTION	COMMENTS
10	2	24"x36" S/H TEMPERED	
11	2	36"x36" S/H	
12	4	36"x60" S/H EGRESS	W/ LIMITERS
15	4	DOUBLE 36"x60" S/H EGRESS	
16	2	DOUBLE 36"x60" S/H EGRESS	W/ LIMITERS

LIGHTING FIXTURE SCHEDULE			
ID #	QTY	DESCRIPTION	COMMENTS
4CL	26	FIXED 4" CAN LIGHT	
4CLW	4	WATERPROOF 4" CAN LIGHT	
BF	6	BATHFAN/LIGHT COMBO	
CFLED	4	CEILING FAN/LED LIGHT	
E	4	EXTERIOR CLEAR GLASS LIGHT	
FM	6	FLUSH MOUNT LIGHT	
VL	8	IVANITY LIGHT	

ROOM SQ FT SCHEDULE	
Name	Area
1BCLO	24.81 SF
1BCLO	24.81 SF
2BCLO	11.25 SF
2BCLO	11.25 SF
2ND BEDROOM	87.83 SF
2ND BEDROOM	87.83 SF
3BCLO	11.25 SF
3BCLO	11.25 SF
3RD BEDROOM	109.50 SF
3RD BEDROOM	109.50 SF
ENTRY	23.24 SF
ENTRY	29.33 SF
GCCLO	5.19 SF
GCCLO	5.19 SF
HALF BATH	22.67 SF
HALF BATH	22.67 SF
HALL 1	130.37 SF
HALL 1	130.37 SF
KITCHEN	168.40 SF
KITCHEN	168.40 SF

ROOM SQ FT SCHEDULE	
Name	Area
LIVING ROOM	202.32 SF
LIVING ROOM	201.52 SF
MAIN BATH	52.51 SF
MASTER BATH	52.61 SF
MASTER BATH	76.34 SF
MASTER BATH	76.34 SF
MASTER BEDROOM	127.29 SF
MASTER BEDROOM	127.29 SF
MORNING ROOM	95.69 SF
MORNING ROOM	95.69 SF
STAIRS	37.84 SF
STAIRS	43.94 SF
UTILITY	81.77 SF
UTILITY	81.77 SF
	2548.02 SF

LEGEND

- WALL FRAMING ELEVATION
- KEYNOTE
- 6" WALL THICKNESS
- HALF WALL
- ISLAND WALL (HEIGHT VARIES)

GENERAL NOTES

- ALL CLOSETS TO BE 2'-0" DEEP U.N.O.
- ALL SHELVING TO BE SINGLE SHELF WROD U.N.O.
- ALL EXTERIOR WALLS TO BE 2x6 CONSTRUCTION U.N.O.
- ALL DIMENSION ARE TO EDGE OF GYP BOARD OR OSB U.N.O.

ABBREVIATIONS

- DB DRAWER BANK
- DW DISHWASHER
- L LINEN
- P PANTRY
- PP POTS & PANS PULLOUT
- UNO UNLESS OTHERWISE NOTED
- W WASHER
- D DRIVER
- DOV DOUBLE OVEN CABINET
- MWOV MICROWAVE & OVEN CABINET
- OV OVEN CABINET
- MW MICROWAVE OR MICROWAVE CABINET

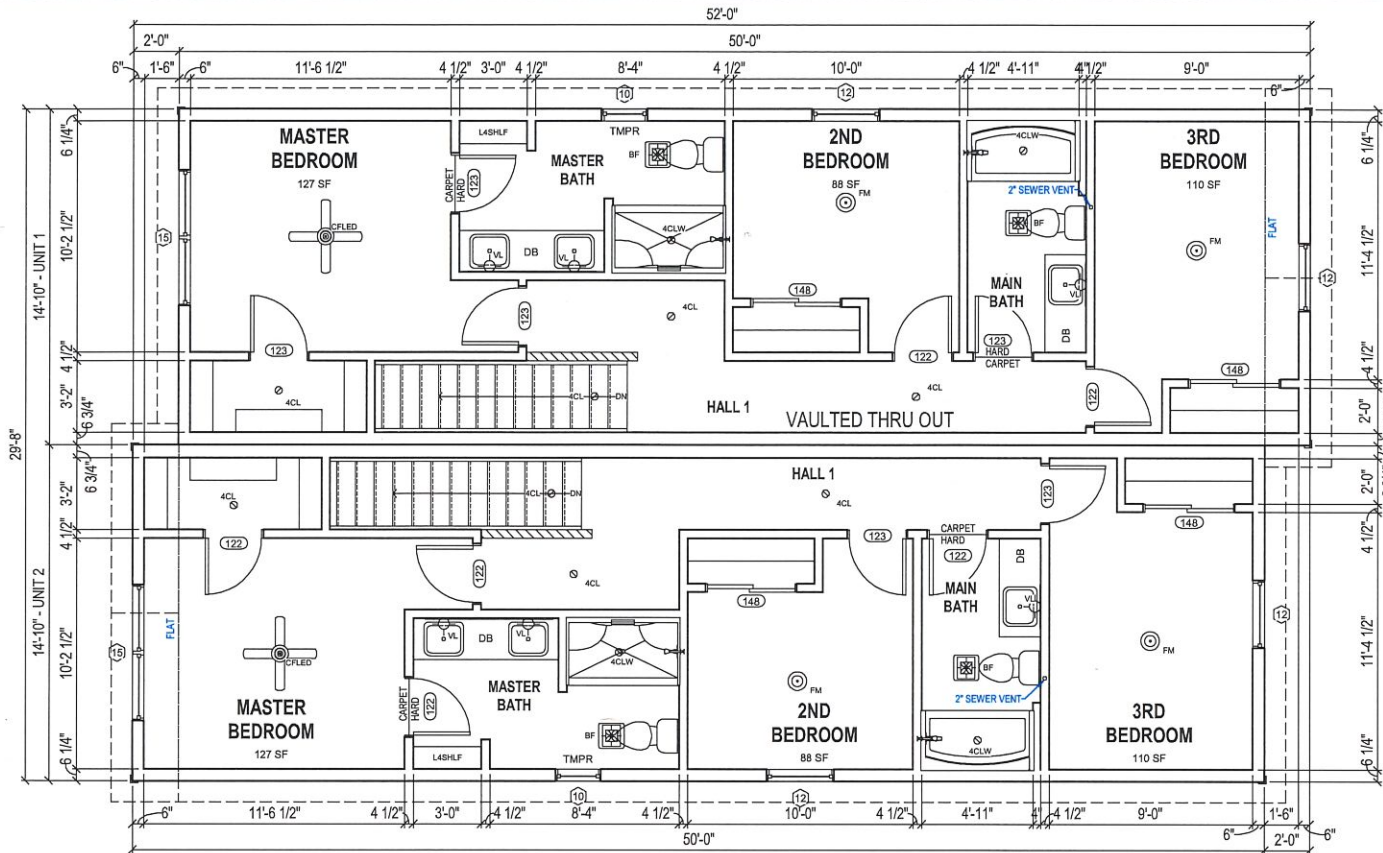
KEYNOTES

- FP01 RETURN AIR GRILLE

NOTE:
 NEED LOCATIONS FOR
 PANEL BOX DROP
 WH & FURNACE
 DISCONNECT BREAKER

CODE: 2018 IRC	FLOOR: 40	PSF	PSF	PRELIMINARY ISSUE
ROOF: 40	ZONE: 40	PSF	PSF	KSE 8/28/24
WIND: 15 VULT MPH	ZONE: 15 VULT MPH			DATE: 8/28/24
QUOTE NO: Q00	PID: 7535			DWG No. 01A
CUSTOMER: ZONE 4	DEALER: BONNAVILLA			
SITE ADDRESS: HASTINGS, NE		DRAWING TITLE: 1ST FLOOR PLAN		
BONNAVILLA		DRN. BY: KSE		
A MEMBER OF 111 GRANT STREET		DATE: 8/28/24		
ALSO AT: 800.577.8818				
www.bonnavilla.com				

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1 2ND FLOOR PLAN
01B SCALE (22x34): 3/8" = 1'-0"
 SCALE (11x17): 3/16" = 1'-0"

LEGEND

- WALL FRAMING ELEVATION
- KEYNOTE
- 6" WALL THICKNESS
- HALF WALL
- ISLAND WALL (HEIGHT VARIES)

GENERAL NOTES

1. ALL CLOSETS TO BE 2'-0" DEEP U.N.O.
2. ALL SHELVING TO BE SINGLE SHELF W/ROD U.N.O.
3. ALL EXTERIOR WALLS TO BE 2x6 CONSTRUCTION U.N.O.
4. ALL DIMENSIONS ARE TO EDGE OF GYP BOARD OR OSB U.N.O.

ABBREVIATIONS

- DB DRAWER BANK
- DW DISHWASHER
- L LINEN
- P PANTRY
- PP POTS & PANS PULLOUT
- UNO UNLESS OTHERWISE NOTED
- W WASHER
- D DRYER
- DOV DOUBLE OVEN CABINET
- MWOV MICROWAVE & OVEN CABINET
- OV OVEN CABINET
- MW MICROWAVE OR MICROWAVE CABINET

KEYNOTES

- FP01 RETURN AIR GRILLE

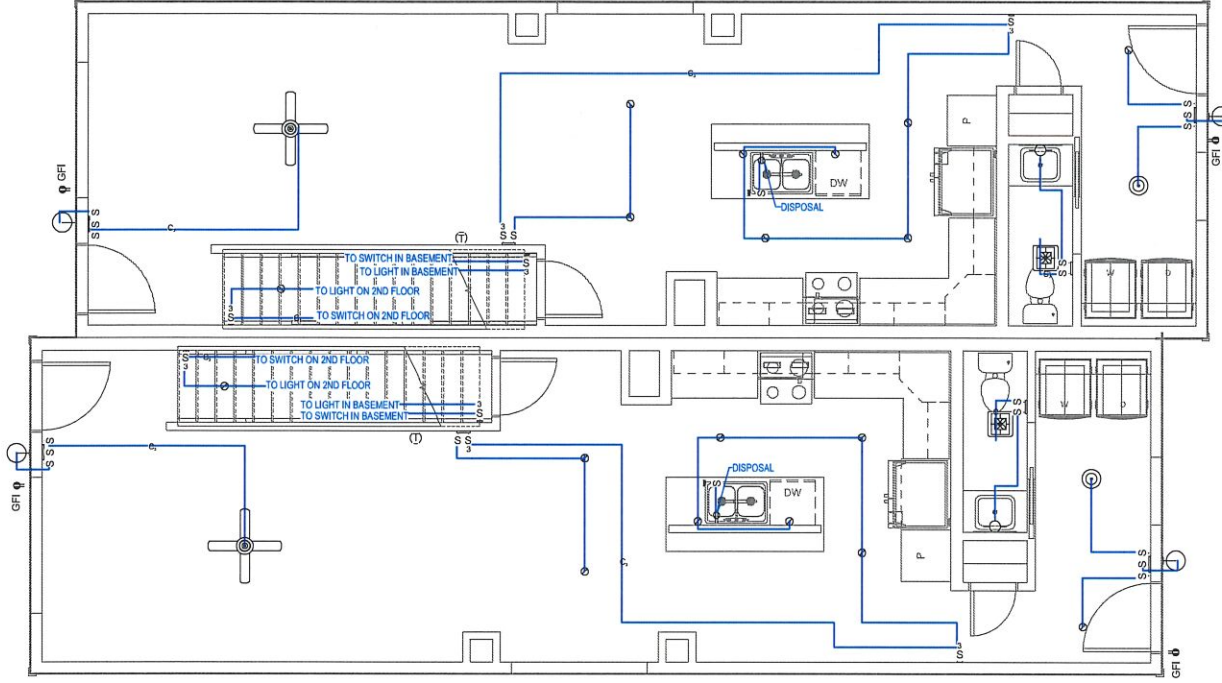
ROOM SQ FT SCHEDULE	
Name	Area
1BCLO	24.81 SF
1BCLO	24.81 SF
2BCLO	11.25 SF
2BCLO	11.25 SF
2ND BEDROOM	87.83 SF
2ND BEDROOM	87.83 SF
3BCLO	11.25 SF
3BCLO	11.25 SF
3RD BEDROOM	109.50 SF
3RD BEDROOM	109.50 SF
ENTRY	23.24 SF
ENTRY	23.33 SF
GCLO	5.19 SF
GCLO	5.19 SF
HALF BATH	22.67 SF
HALF BATH	22.67 SF
HALL 1	130.37 SF
HALL 1	130.37 SF
KITCHEN	168.40 SF
KITCHEN	168.40 SF
LIVING ROOM	202.32 SF
LIVING ROOM	201.52 SF
MAIN BATH	52.51 SF
MAIN BATH	52.51 SF
MASTER BATH	76.34 SF
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MASTER BEDROOM	127.29 SF
MASTER BEDROOM	127.29 SF
MORNING ROOM	95.69 SF
MORNING ROOM	95.69 SF
STAIRS	37.94 SF
STAIRS	43.94 SF
UTILITY	81.77 SF
UTILITY	81.77 SF
	2548.02 SF

INTERIOR DOOR SCHEDULE					
ID #	QTY	DESCRIPTION	SWING	JAMB	COMMENTS
120	1	24"x80"	RIGHT	4 1/2"	
121	1	24"x80"	LEFT	4 1/2"	
122	7	30"x80"	RIGHT	4 1/2"	
123	7	30"x80"	LEFT	4 1/2"	
146	2	30"x80" SINGLE POCKET	NA	4 1/2"	
148	4	48" BI-PASS DOORS	NA	4 1/2"	

LIGHTING FIXTURE SCHEDULE				
ID #	QTY	DESCRIPTION	COMMENTS	
4CL	26	FIXED 4" CAN LIGHT		
4CLW	4	WATERPROOF 4" CAN LIGHT		
BF	6	BATHFAN/LIGHT COMBO		
CFLED	4	CEILING FAN/LED LIGHT		
E	4	EXTERIOR CLEAR GLASS LIGHT		
FM	6	FLUSH MOUNT LIGHT		
VL	8	VANITY LIGHT		

WINDOW SCHEDULE			
ID #	QTY	DESCRIPTION	COMMENTS
10	2	24"x36" S/H TEMPERED	
11	2	36"x36" S/H	
12	4	36"x60" S/H EGRESS	W/ LIMITERS
15	4	DOUBLE 36"x60" S/H EGRESS	W/ LIMITERS
15	2	DOUBLE 36"x60" S/H EGRESS	W/ LIMITERS

CUSTOMER: ZONE-4
 DEALER: BONNAVILLA
 SITE ADDRESS: HASTINGS, NE
 DRAWING TITLE: 2ND FLOOR PLAN
 BONAVALLA
 1171 P.O. BOX 17267
 AUBURN, NE 68508
 www.bonnavilla.com
 DRN BY: KSE
 DATE: 8/28/24
 DWG No. 01B



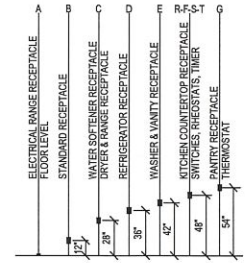
1 ELECTRICAL PLAN 1ST FLR

ELECTRICAL LEGEND

	INTERIOR DUPLEX RECEPT		SWITCH
	INTERIOR SINGLE RECEPT		3-WAY SWITCH
	INTERIOR GROUND FAULT DUPLEX RECEPT		RHEOSTAT
	EXTERIOR GROUND FAULT DUPLEX RECEPT		3-WAY RHEOSTAT
	EXTERIOR DUPLEX RECEPT		TIMER SWITCH
	FLOOR DUPLEX RECEPT		PANEL BOX
	SOFFIT GROUND FAULT DUPLEX RECEPT		JACK SYMBOL FOR TV, PH, CA5, WPH
	ELECTRIC RANGE RECEPT		TV
	DRYER RECEPT		PHONE JACK
	220 OUTLET		CA5
	THERMOSTAT		DATA JACK
	SMOKE DETECTOR		WPH WALL PHONE JACK
	SMOKE-CO DETECTOR		

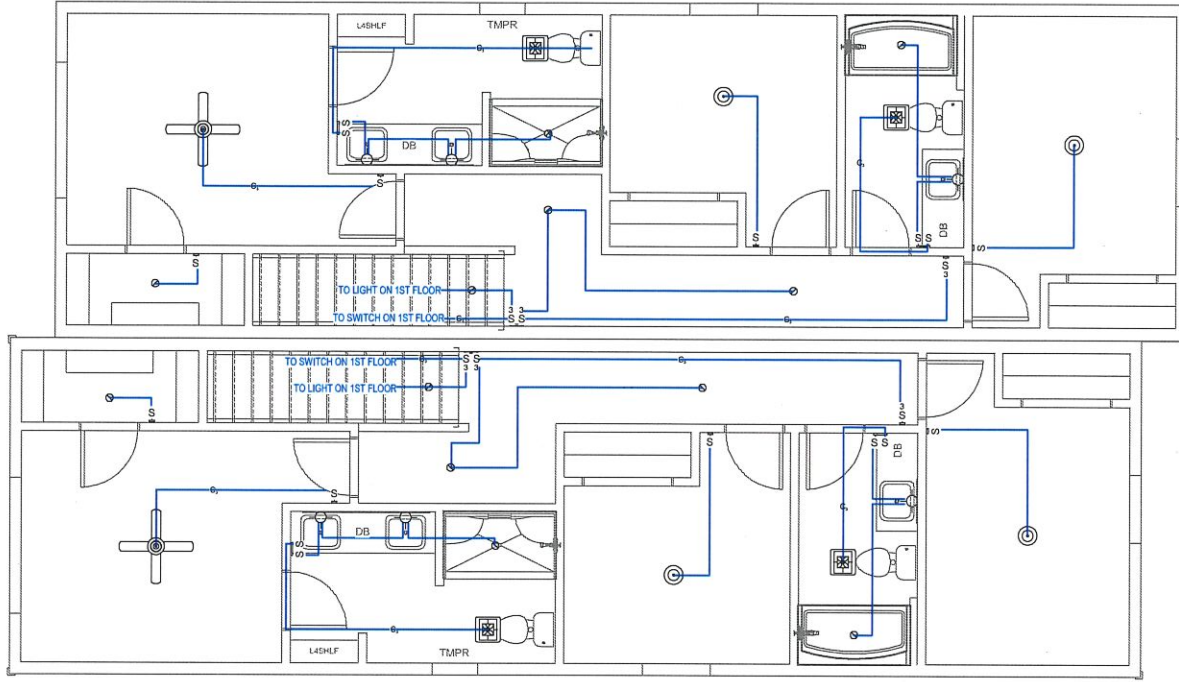
ELECTRICAL NOTES

- ALL 125-VOLT, 15 & 20 AMP RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
- OUTDOOR RECEPTACLES EQUIPPED WITH IN USE WEATHER PROOF COVERS & "EXTRA DUTY" TYPE.
- ALL RECEPTACLE AND SWITCH LOCATIONS ARE TYPICAL HEIGHT U.N.O. NO AMP CONNECTORS - ALL CONNECTIONS MUST BE MADE IN BOX. (NORTH DAKOTA ONLY)
- LIGHTS WITH DIMENSIONS WILL BE LOCATED IN DROPPED CEILINGS.
- EXTERIOR LIGHTS ARE TO BE LISTED FOR WET LOCATIONS.



SITE ADDRESS HASTINGS, NE		CUSTOMER ZONE 4		CODE 2018 IRC	
DRAWING TITLE ELECTRICAL PLAN 1ST FLR		DEALER BONNAVILLA		FLOOR 40	
DRAWING NO. 828/24		DATE 8/28/24		ROOF 40	
DWG No. 08A		DRN. BY: KSE		WIND 115 VULT MPH	
DATE: 8/28/24		PRELIMINARY ISSUE		KSE	
DWG No. 08A		DATE: 8/28/24		KSE	

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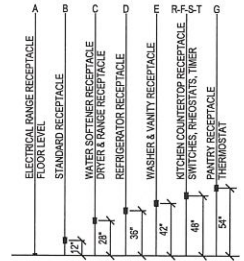
1 ELECTRICAL PLAN 2ND FLR

ELECTRICAL LEGEND

	INTERIOR DUPLEX RECEPT		SWITCH
	INTERIOR SINGLE RECEPT		3-WAY SWITCH
	INTERIOR GROUND FAULT DUPLEX RECEPT		RHEOSTAT
	EXTERIOR GROUND FAULT DUPLEX RECEPT		3-WAY RHEOSTAT
	EXTERIOR DUPLEX RECEPT		TIMER SWITCH
	FLOOR DUPLEX RECEPT		PANEL BOX
	SOFFIT GROUND FAULT DUPLEX RECEPT		JACK SYMBOL FOR TV, PH, CA5, WPH
	ELECTRIC RANGE RECEPT		TV CABLE JACK
	DRYER RECEPT		PHONE JACK
	220 OUTLET		CA5 DATA JACK
	THERMOSTAT		WPH WALL PHONE JACK
	SMOKE DETECTOR		
	SMOKE-CD DETECTOR		

ELECTRICAL NOTES

- ALL 125-VOLT, 15 & 20 AMP RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
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- LIGHTS WITH DIMENSIONS WILL BE LOCATED IN DROPPED CEILINGS.
- EXTERIOR LIGHTS ARE TO BE LISTED FOR WET LOCATIONS.



		SITE ADDRESS HASTINGS, NE	
DRAWING TITLE ELECTRICAL PLAN 2ND FLR		CUSTOMER ZONE 4 DEALER BONNAVILLA	
DRN. BY: KSE DATE: 8/28/24		QUOTE NO.: Q00 PID: 7535	
DWG No. 08B		CODE: 2018 IRC FLOOR: 40 PSF ROOF: 40 PSF WIND: 115 VILT MPH ZONE: A	
		KSE PRELIMINARY ISSUE 8/28/24	

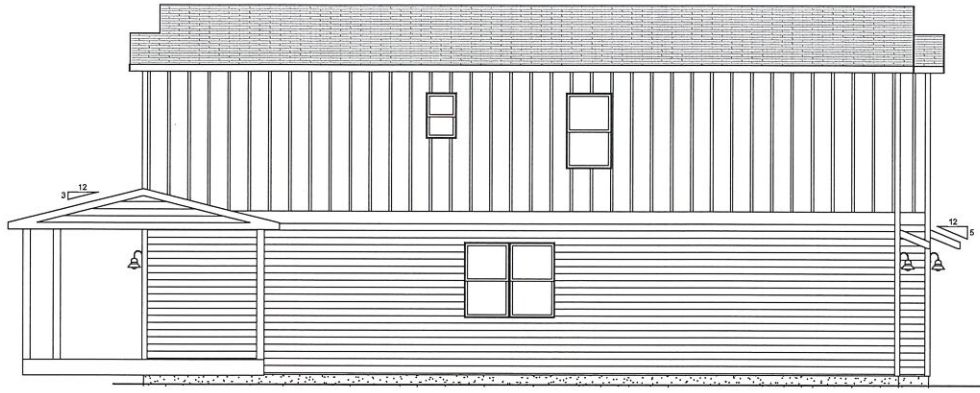
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PLATE HEIGHT 2ND FLR
118' - 11"

T.O. DECK 2ND FLR
110' - 10 3/4"

PLATE HEIGHT 1ST FLR
109' - 0 1/4"

T.O. DECK 1ST FLR
100' - 0"



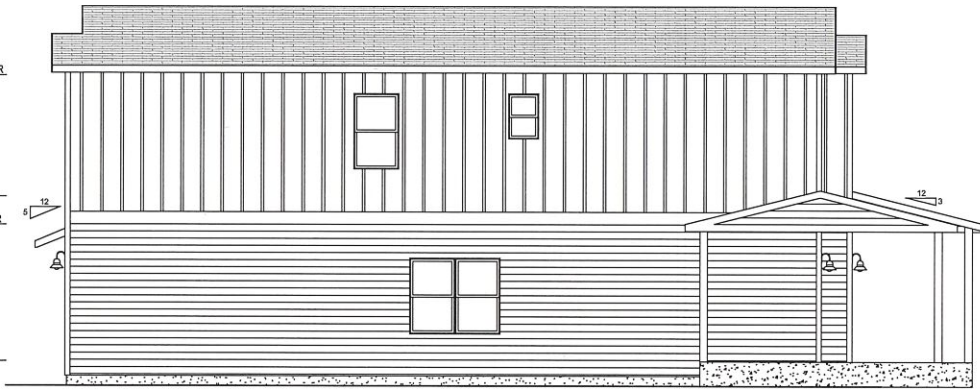
1 FRONT ELEVATION

PLATE HEIGHT 2ND FLR
118' - 11"

T.O. DECK 2ND FLR
110' - 10 3/4"

PLATE HEIGHT 1ST FLR
109' - 0 1/4"

T.O. DECK 1ST FLR
100' - 0"



2 REAR ELEVATION

 <small>A MEMBER OF</small> 111 GRANT STREET ALCOA, NC 28001 www.bonnavilla.com		SITE ADDRESS HASTINGS, NE DRAWING TITLE EXTERIOR ELEVATIONS	CUSTOMER ZONE 4 DEALER BONNAVILLA	CODE 2018 IRC FLOOR PSF 40 ROOF PSF 40 WIND ZONE 115 VULT MPH QUOTE NO: Q00 PID: 7535	KSE 8/28/24 PRELIMINARY ISSUE
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DRN. BY: KSE
DATE: 8/28/24
DWG No. 09A

● PLATE HEIGHT 2ND FLR
118'-11"

● T.O. DECK 2ND FLR
110'-10 3/4"

● PLATE HEIGHT 1ST FLR
109'-0 1/4"

● T.O. DECK 1ST FLR
100'-0"



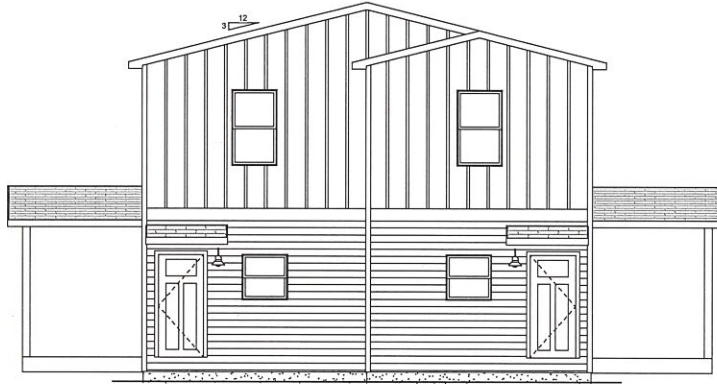
1 LEFT ELEVATION

● PLATE HEIGHT 2ND FLR
118'-11"

● T.O. DECK 2ND FLR
110'-10 3/4"

● PLATE HEIGHT 1ST FLR
109'-0 1/4"

● T.O. DECK 1ST FLR
100'-0"

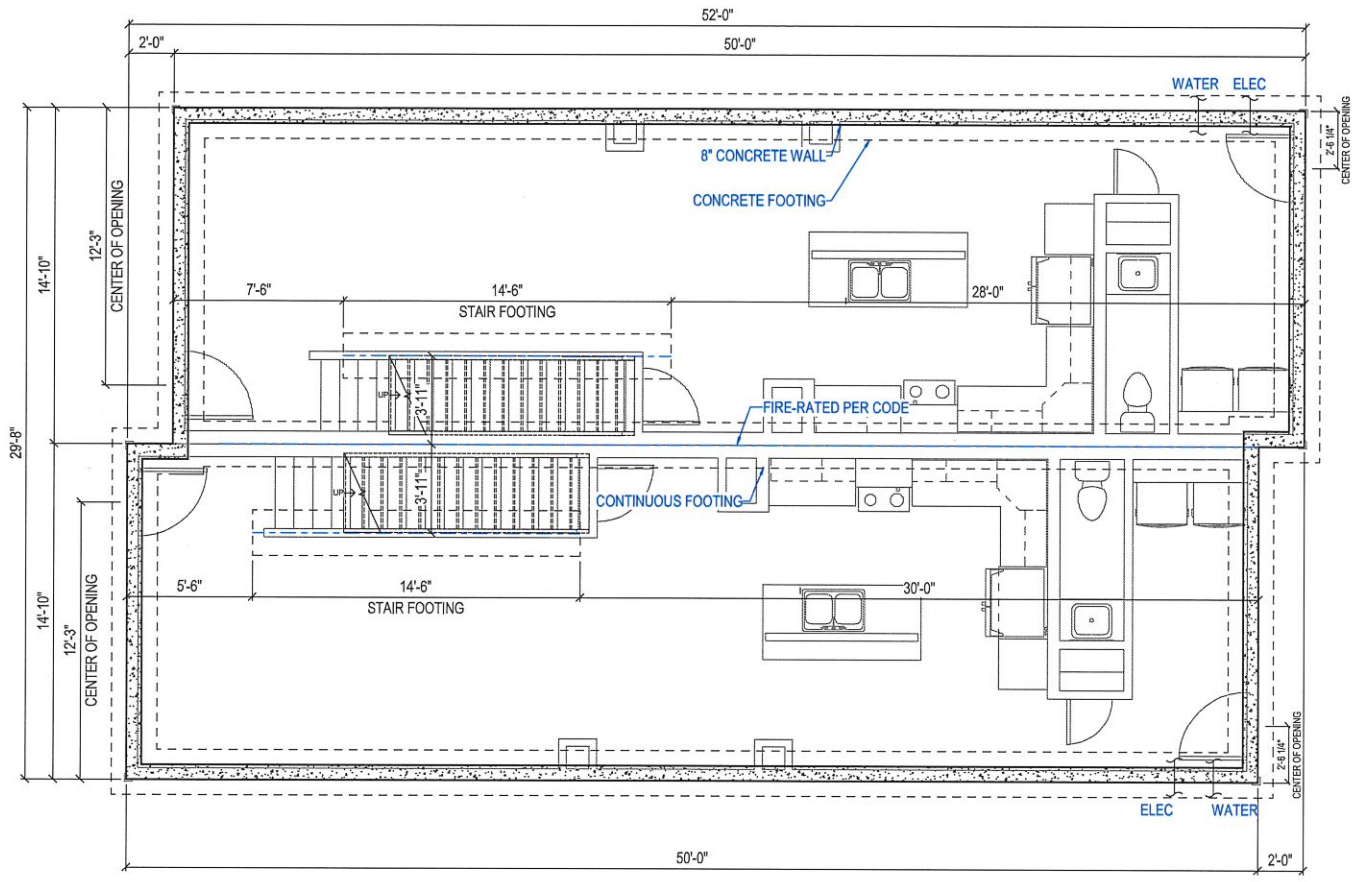


2 RIGHT ELEVATION

SITE ADDRESS HASTINGS, NE		CUSTOMER ZONE 4
DRAWING TITLE EXTERIOR ELEVATIONS		DEALER BONNAVILLA
QUOTE NO: Q00		FLOOR PSF 40
PID: 7535		ROOF PSF 40
CODE 2018 IRC		WIND ZONE 4
WIND ZONE 4		WIND SPEED 115 VULT MPH
DRN. BY: KSE		DWG No.
DATE: 8/28/24		09B

BONNAVILLA
 A MEMBER OF THE BAKER GROUP
 111 66th Street
 Aurora, CO 80012
 www.bonnavilla.com

10/4/2024 10:03:09 AM T:\2024 Projects\1_Pre-Projects\RID7535-ZONE 4-SPEC ALMONT Sketch\RID7535-ZONE 4-SPEC ALMONT SK.dwg



1 FOUNDATION PLAN

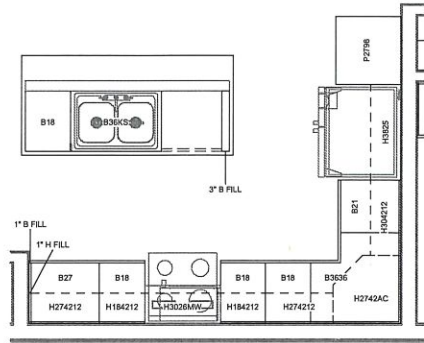
NEED LOCATIONS FOR:
DROPPED PANEL BOX
WH & FURNACE

FOUNDATION NOTES:

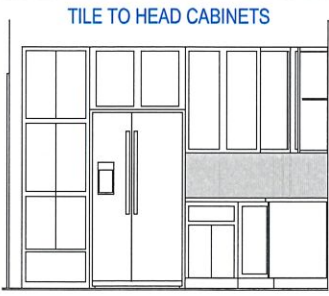
- FOUNDATION, FOOTINGS, AND/OR PIERS DESIGNED TO THE FOLLOWING LOADING CRITERIA:
a. FLOOR 40 PSF LL, 15 PSF DL
b. WALL 5 PLF DL
c. ROOF 45 PSF LL, 15 PSF DL
- FOR CRAWLSPACE APPLICATION, THE MINIMUM NET AREA OF VENTILATION OPENINGS FOR UNDER-FLOOR VENTILATION SHALL MEET THE MINIMUM REQUIREMENTS OF THE APPLICABLE BUILDING CODES (OR LOCAL REQUIREMENTS IF MORE STRINGENT).
- FOUNDATION ACCESS SHALL BE DETERMINED, LOCATED, VERIFIED, AND INSTALLED IN FIELD, BY OTHERS TO THE APPLICABLE BUILDING CODES.
- THE RIM JOIST ALONG THE MARRIAGE LINE CONSISTS OF 1-1/2" x 11-7/8" LAMINATED BEAMS. PROVIDE SUPPORTS PIERS ALONG THE MARRIAGE LINE 2-3/4" SHORTER THAN PERIMETER SUPPORTS. (NOT APPLICABLE WITH TRUSS FLOOR SYSTEMS)
- THE HOME SHALL BE GROUNDED AS DEFINED IN ARTICLE 250, SECTION III, OF THE 2017 NATIONAL ELECTRICAL CODE AS PART OF THOSE REQUIREMENTS, A FOOTING FOUNDATION REBAR SHALL BE LEFT EXPOSED SO A CONNECTION CAN BE MADE WITH THE BUILDING STRUCTURE, AS DEFINED IN NEC ARTICLE 250, SECTION III, PART 50.
- BONNAVILLA HOMES SHALL NOT BE IN ANY WAY RESPONSIBLE FOR THE QUALITY OF THE QUANTITY OF MATERIALS USED (OR NOT USED)
- IN THE FABRICATION AND FINAL CONSTRUCTION OF THIS FOUNDATION, BONNAVILLA HOMES SHALL NOT BE RESPONSIBLE FOR ANY STANDARDS OF WORKMANSHIP.
- WHERE REPRESENTATIVES AND/OR DEALERS OF BONNAVILLA HOMES ARE ACTING AS INDEPENDENT CONTRACTORS, THEY DO SO AS THEIR OWN REPRESENTATIVE.
- IT IS THE RESPONSIBILITY OF THE HOMEOWNER AND/OR FOUNDATION CONTRACTOR TO MEET ALL ELECTRICAL, MECHANICAL, ENERGY, AND BUILDING CODES WHICH MAY APPLY TO THIS FOUNDATION PLAN.
- CRAWLSPACE FOUNDATIONS REQUIRE AN ACCESS MEETING THE REQUIREMENTS OF THE IRC SECTION R403 ACCESS OPENING TO BE 16" x 24", WHICH ACCESS IS LOCATED BELOW GRADE. AN AREAWAY OF 16" x 24" SHALL BE PROVIDED DIRECTLY IN FRONT OF THE ACCESS. AREAWAY SHALL BEGIN BELOW THE LEVEL OF THE CRAWLSPACE ACCESS. ACCESSES SHALL NOT BE LOCATED BENEATH A DOOR OF THE UPPER STORY.
- FOUNDATION ACCESS SHALL BE DETERMINED, LOCATED, VERIFIED, AND INSTALLED IN FIELD, BY OTHER
- VERIFY LOCATION, SIZE, AND QUALITY OF EXTERIOR WINDOWS.
- FOOTINGS WIDTH AND DEPTH - FOOTINGS ARE TO BE CALCULATED BY AN ARCHITECT OR ENGINEER BASED ON HOME DESIGN. TYPICAL SPECIFICATIONS FOR PERIMETER FOOTINGS IS 16" x 8". CENTERLINE FOOTING DIMENSION IS 16" WIDE AND 8" DEEP. THESE DIMENSIONS ARE TYPICAL AND ARE AFFECTED BY SOIL TYPE, SOIL COMPACTION, SPECIAL LOADS, ETC. ADJUSTABLE COLUMN SUPPORTS MAY BE REPLACED WITH CONTINUOUS BEARING WALL (MINIMUM REQUIREMENTS FOR WALL WILL BE DOUBLE 2 x 4 TOP PLATE, SINGLE 2 x 4 BOTTOM PLATE AND DOUBLE 2 x 4 STUDS @ 16" O.C. OR DOUBLE 2 x 6 TOP PLATE, SINGLE 2 x 6 BOTTOM PLATE AND SINGLE 2 x 6 STUDS @ 16" O.C.
- FOUNDATION ENGINEER TO PROVIDE LOAD PATH FOR UPLIFT FORCES FROM SHEARWALLS TO FOUNDATION (i.e. HOLD-DOWNS, STRAPPING, ETC.). SUGGESTED DESIGN LOADS TO BE EQUAL TO CAPACITY OF HOLD-DOWN. (i.e. SIMPSON LSTH08R1 = 3115# UPLIFT).
- THE RIM JOIST ALONG THE MARRIAGE LINE CONSISTS OF 1-1/2" x 11-7/8" LAMINATED BEAMS. PROVIDE SUPPORTS PIERS ALONG THE MARRIAGE LINE 2-3/4" SHORTER THAN PERIMETER SUPPORTS. (NOT APPLICABLE WITH TRUSS FLOOR SYSTEMS)
- NOTE: **THE POINT LOADS THAT ARE SHOWN ON THIS FOUNDATION DRAWING ARE ESTIMATED VALUES. THESE VALUES COULD CHANGE WHEN THE HOME IS ENGINEERED. THESE ESTIMATED VALUES SHOULD NOT BE USED TO SIZE FOOTINGS. THE COMPLETE FOUNDATION DESIGN IS NOT THE RESPONSIBILITY OF BONNAVILLA HOMES.**

SITE ADDRESS HASTINGS, NE		CUSTOMER ZONE 4	
DRAWING TITLE FOUNDATION PLAN		DEALER BONNAVILLA	
		CODE 2018 IRC FLOOR PSF 40 ROOF PSF 40 WIND ZONE 4 WIND MPH 115 VULT DATE: 8/28/24 PRELIMINARY ISSUE	
DRN. BY: KSE DATE: 8/28/24 DWG No: 14		QUOTE NO: Q00 PID: 7535	

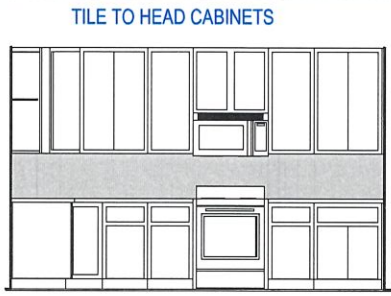
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1 KITCHEN



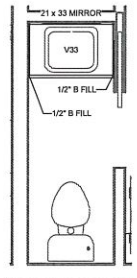
1A KITCHEN



1B KITCHEN

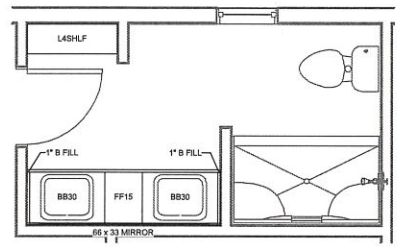
QUARTZ COUNTERTOPS
THRU OUT

CABINET SCHEDULE - KITCHEN (1)													
QTY	CABINET	DOOR						DRAWER					Comments
		9 3/4"x27	9x21	12x21	12x27	12x39	15x21	15x39	15x6	16x6	24x6	24x12	
1	1\"/>												



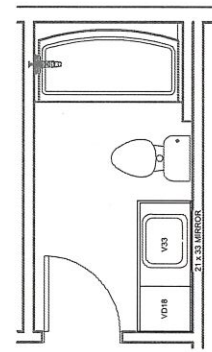
2 HALF BATH

CABINET SCHEDULE - HALF BATH (1)			
QTY	CABINET	DOOR	Comments
2	1/2\"/>		



3 MASTER BATH

CABINET SCHEDULE - MASTER BATH (1)				
QTY	CABINET	DOOR	DRAWER	Comments
2	1\"/>			



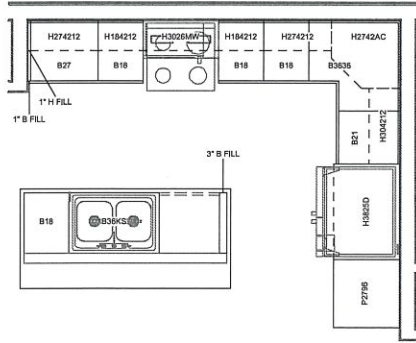
4 MAIN BATH

CABINET SCHEDULE - MAIN BATH (1)				
QTY	CABINET	DOOR	DRAWER	Comments
1	21 x 33 MIRROR	15x21	15x6	
1	V33	2		
1	VD18		3	

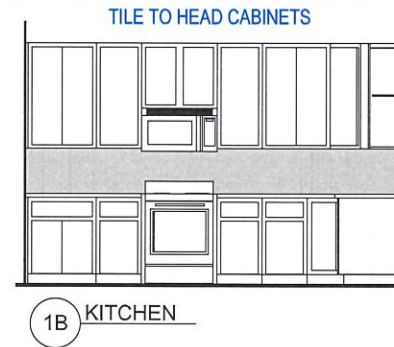
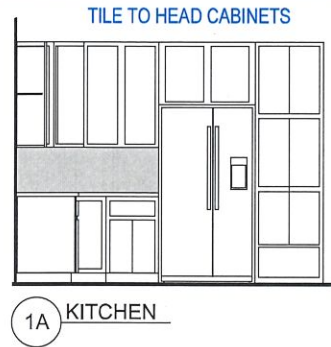
CABINET LIST		
QTY	CABINET	Comments
2		IL04
6	1\"/>	

CODE: 2018 IRC
 FLOOR: 40
 ROOF: 40
 WIND: 115 VULT MPH
 ZONE: A
 QUOTE NO.: Q00
 PID: 7535
 CUSTOMER: ZONE 4
 DEALER: BONNAVILLA
 SITE ADDRESS: HASTINGS, NE
 DRAWING TITLE: CABINET DETAILS - UNIT 1
 BONNAVILLA
 1171 P.O. BOX 172
 AURORA, NE 68004
 www.bonnavilla.com
 DRN. BY: KSE
 DATE: 8/28/24
 DWG No. 15A

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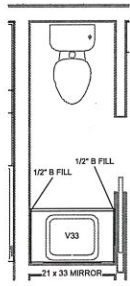


1 KITCHEN



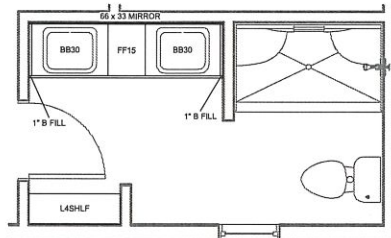
QUARTZ COUNTERTOPS
THRU OUT

CABINET SCHEDULE - KITCHEN (2)													
QTY	CABINET	DOOR						DRAWER				Comments	
		9 3/4"x27	9x21	12x21	12x27	12x39	15x21	15x39	15x6	18x6	24x6		24x12
1	1" B FILL												
1	1" H FILL												
1	3" B FILL												
4	B18							1		1			
1	B21		2							1			
1	B27			2							1		
1	B36KS						2		2				
1	B3636	2											
1	H2742AC										1		
1	H3026MW			2									
1	H3825D						2						
2	H184212								1				
2	H274212					2							
1	H304212					2							
1	P2796		2	4									1



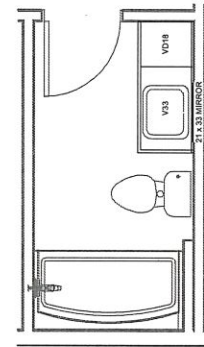
2 HALF BATH

CABINET SCHEDULE - HALF BATH (2)			
QTY	CABINET	DOOR	Comments
2	1/2" B FILL		
1	21 x 33 MIRROR	15x21	
1	V33	2	



3 MASTER BATH

CABINET SCHEDULE - MASTER BATH (2)				
QTY	CABINET	DOOR	DRAWER	Comments
2	1" B FILL	12x27	12x6	12x12
1	66 x 33 MIRROR			
2	BB30	2		
1	FF15		2	1



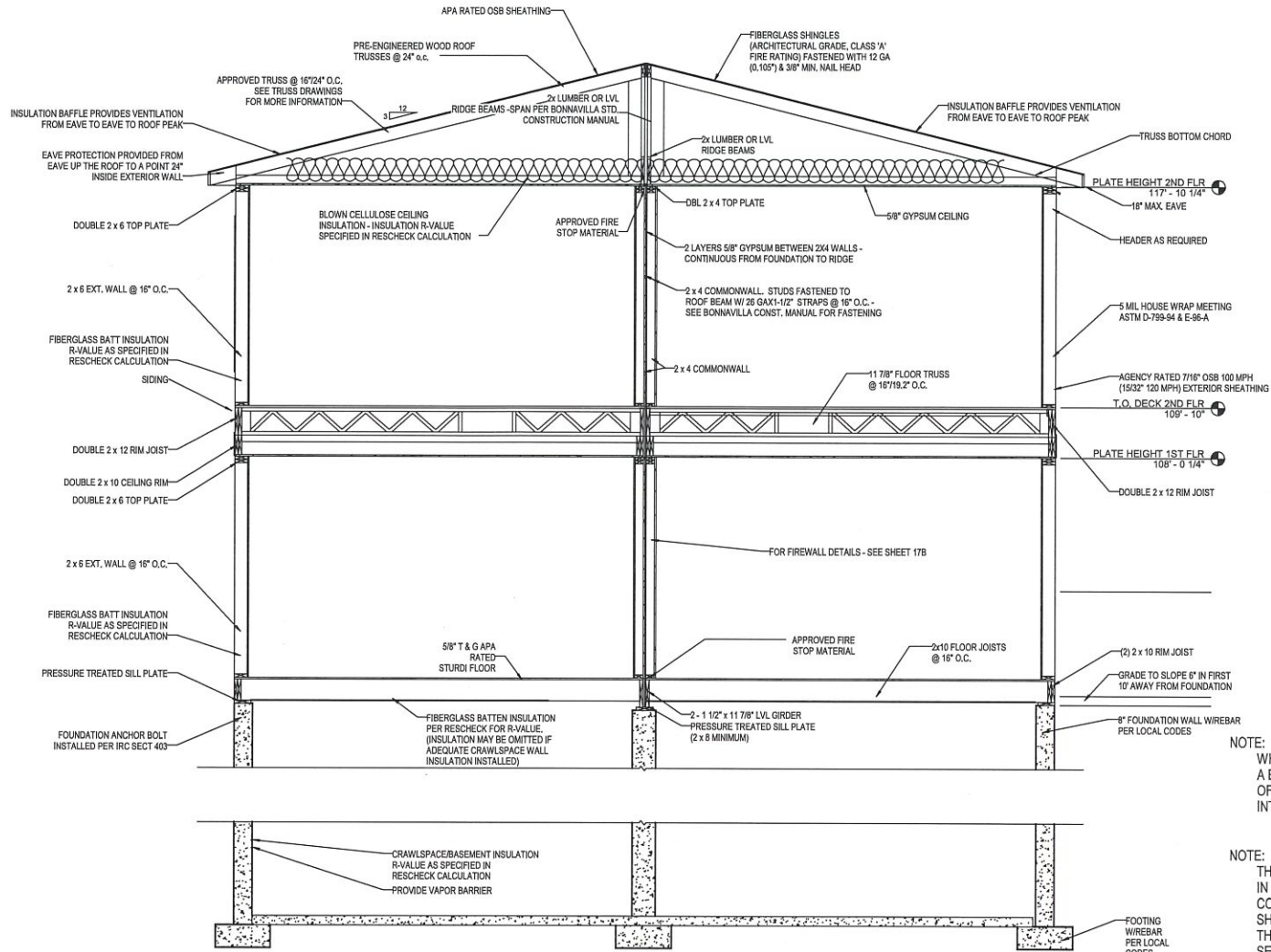
4 MAIN BATH

CABINET SCHEDULE - MAIN BATH (2)				
QTY	CABINET	DOOR	DRAWER	Comments
1	21 x 33 MIRROR	15x21	15x6	
1	V33	2		
1	VD18		3	

CABINET LIST		
QTY	CABINET	Comments
2		ILD4
6	1" B FILL	
2	1" H FILL	
4	1/2" B FILL	
2	3" B FILL	
4	21 x 33 MIRROR	
2	66 x 33 MIRROR	
8	B18	
2	B21	
2	B27	
2	B36KS	
2	B3636	
4	BB30	
2	FF15	
2	H2742AC	
2	H3026MW	
1	H3825	
1	H3825D	
4	H184212	
4	H274212	
2	H304212	
2	L4SHLF	
2	P2796	
4	V33	
2	VD18	

CUSTOMER: ZONE 4
 SITE ADDRESS: HASTINGS, NE
 DRAWING TITLE: CABINET DETAILS - UNIT 2
 DEALER: BONNAVILLA
 QUOTE NO.: Q00
 PID: 7535
 CODE: 2018 IRC
 FLOOR: 40
 ROOF: 40
 WIND ZONE: 40
 WIND SPEED: 115 VULT MPH
 PRELIMINARY ISSUE
 DATE: 8/26/24
 KSE
 15B

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1 BUILDING SECTION

NOTE:
WHEN A CRAWLSPACE IS USED IN LIEU OF A BASEMENT FOUNDATION, CONSTRUCTION OF CRAWLSPACE SHALL BE SPECIFIED IN THE INTERNATIONAL RESIDENTIAL CODE CHAPTER 4

NOTE:
THE HOME SHOULD BE GROUNDED AS DEFINED IN ARTICLE 250, SECTION III, OF THE NATIONAL ELECTRICAL CODE. AS PART OF THOSE REQUIREMENTS, A FOOTING REBAR SHALL BE LEFT EXPOSED SO A CONNECTION CAN BE MADE WITH THE BUILDING STRUCTURE, AS DEFINED IN NEC ARTICLE 250, SECTION III, PART 50.

KSE PRELIMINARY ISSUE	
8/28/24	8/28/24
PSF	PSF
40	40
115 VOLT MPH	115 VOLT MPH
2018 IRC	2018 IRC
FLOOR	FLOOR
40	40
ROOF	ROOF
40	40
ZONE	ZONE
115 VOLT MPH	115 VOLT MPH
QUOTE NO.	Q00
PID:	7535
CUSTOMER	ZONE 4
DEALER	BONNAVILLA
SITE ADDRESS	HASTINGS, NE
DRAWING TITLE	BUILDING SECTION
111 GRANT STREET P.O. BOX 177 ALBANY, NE 68019 www.bonnavilla.com	
DRN. BY:	KSE
DATE:	8/28/24
DWG No.	16



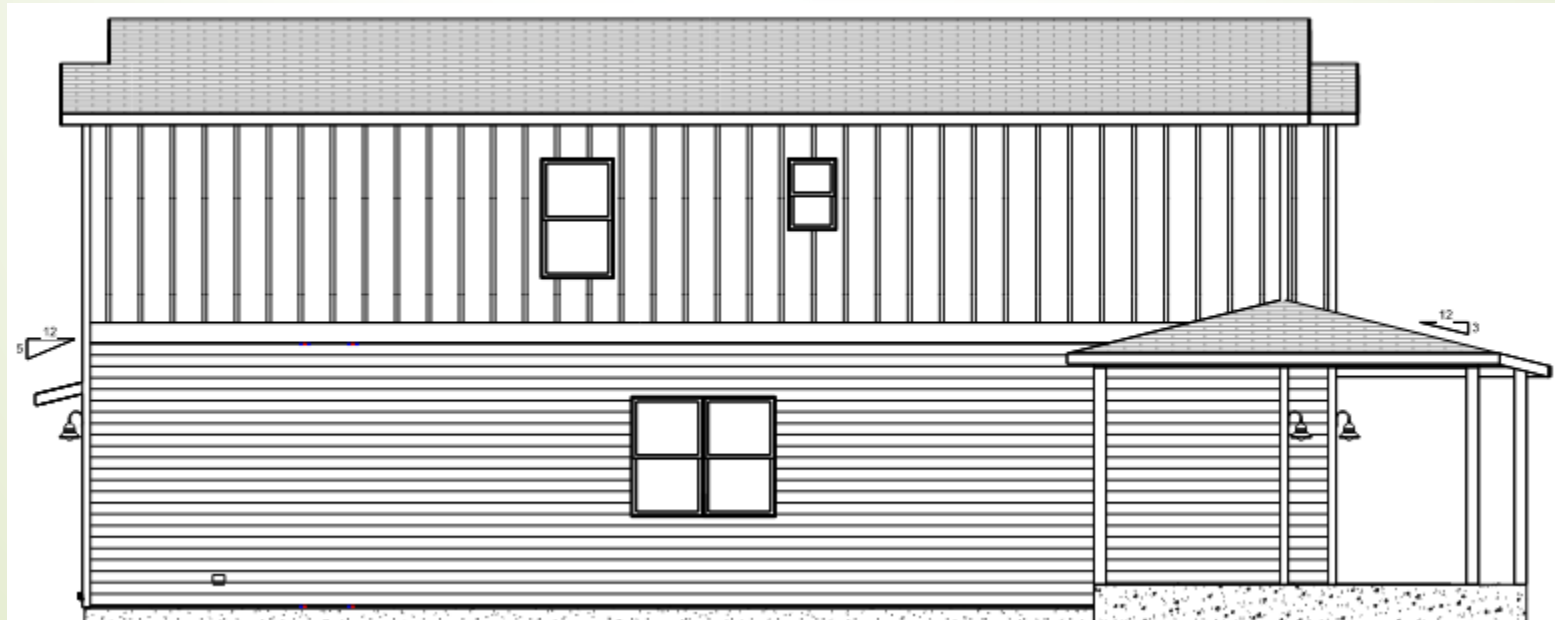
TRAILSIDE VILLAGE

HASTINGS, NE



INTERIOR LAYOUT







COLOR SCHEME A



COLOR SCHEME C



COLOR SCHEME B



COLOR SCHEME D

**2009 Comprehensive Plan
Future Land Use
City of Hastings, Nebraska**

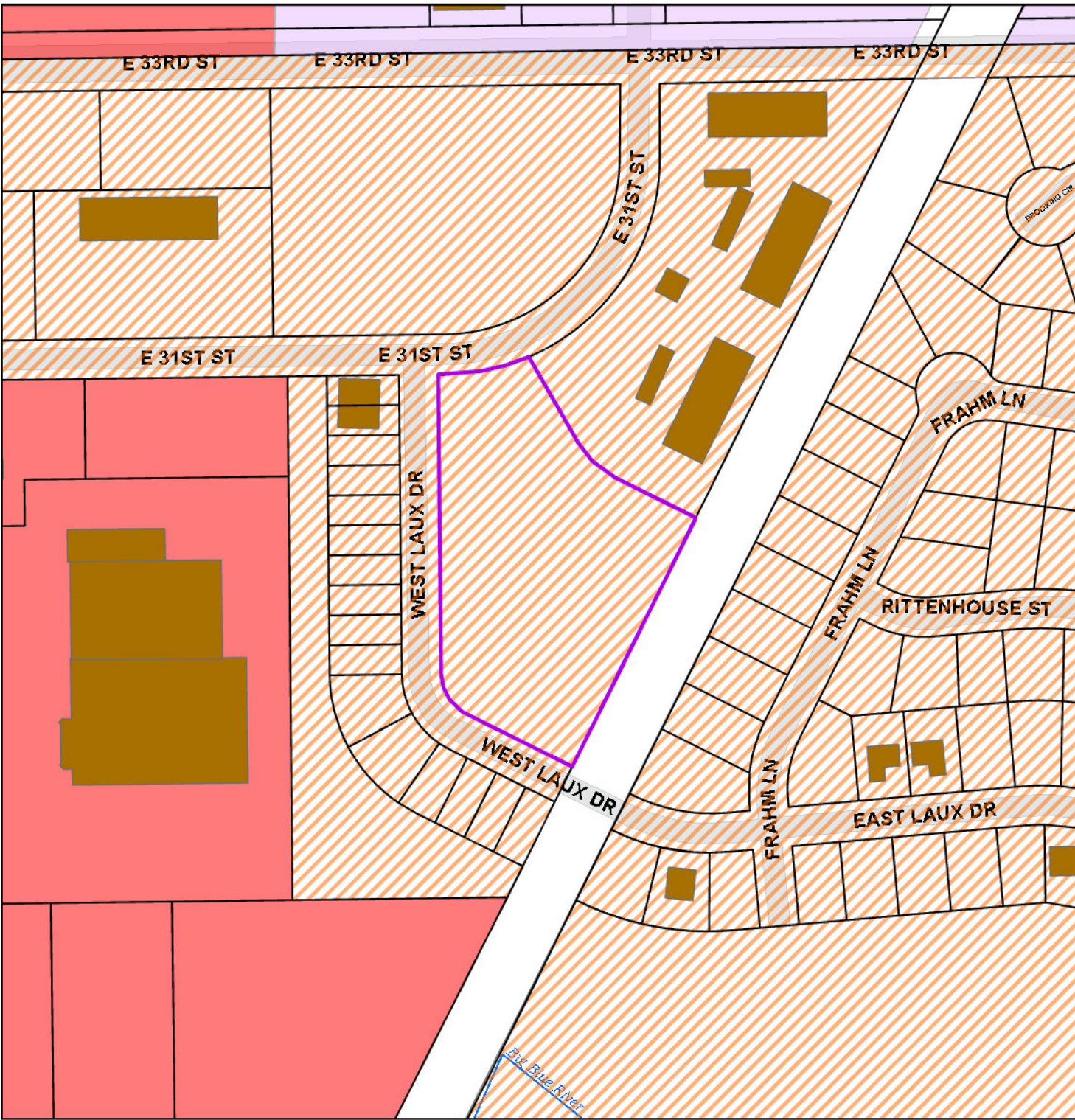
**Trail Side Redevelopment
Plan Modification**

Future Land Use:

-  Rural Residential
-  Suburban Residential
-  Urban Residential
-  Mixed Use - Neighborhood
-  Mixed Use - Community
-  Mixed Use - Downtown
-  Commercial/Retail
-  Employment/Industrial
-  Public / Semi-Public
-  Parks & Recreation
-  Agriculture

Overlay Districts

-  South Burlington Overlay
-  Highway 6 Overlay
-  Urban Industrial Overlay
-  PARCELS
-  City Boundary
-  Buildings
-  Boundaries

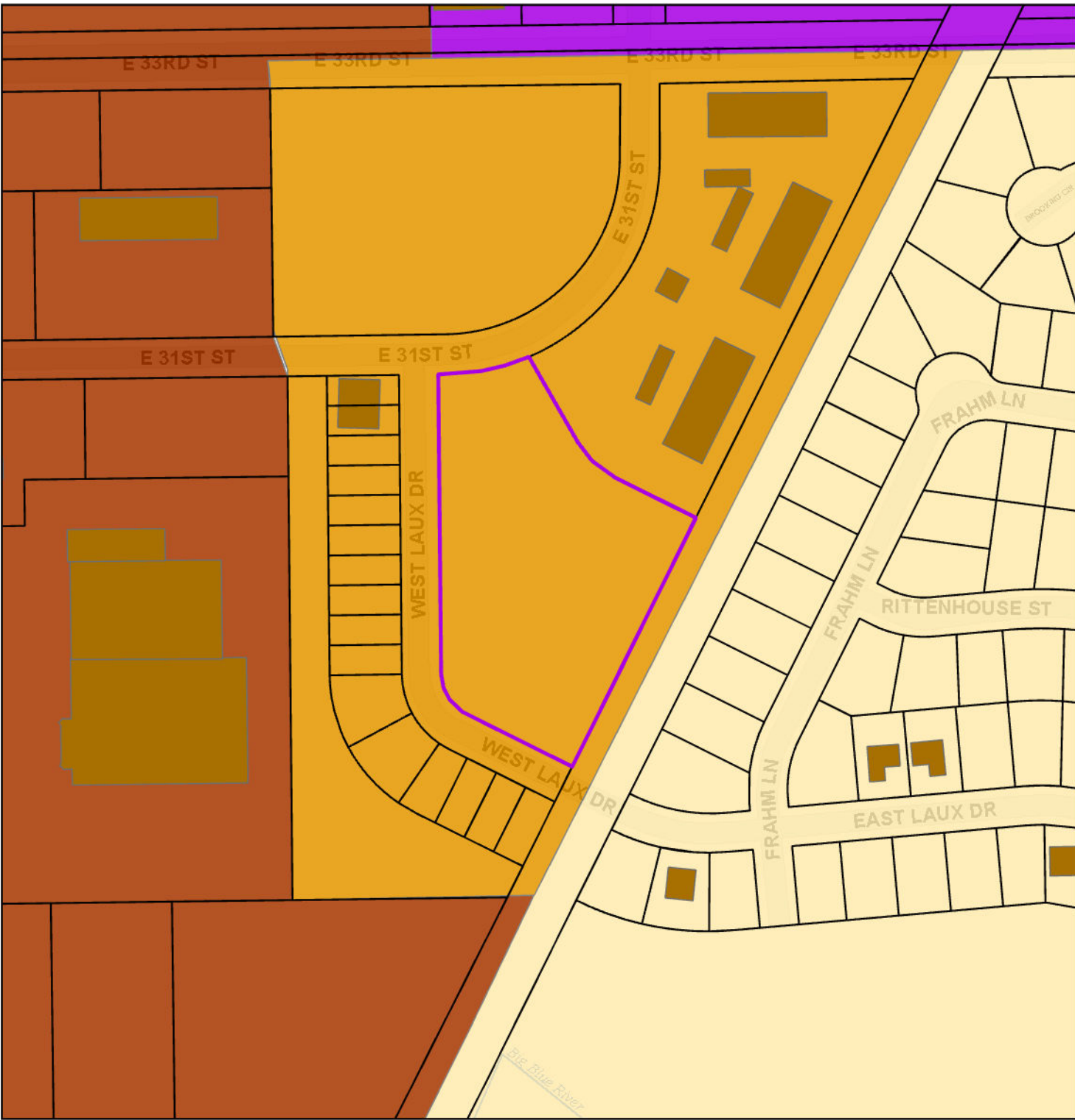


**2025 Comprehensive Plan
Future Land Use
City of Hastings, Nebraska**

**Trail Side Redevelopment
Plan Modification**

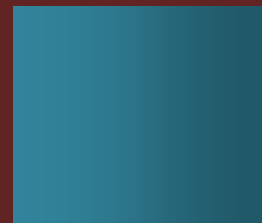
District

-  Hospital Environs Overlay
-  Commercial Corridor
-  Transitional Agriculture
-  Residential Estates
-  Low Density Residential
-  Medium Density Residential
-  High Density Residential
-  Residential Village Park
-  Downtown Commercial
-  General Commercial
-  Highway Commercial
-  Industrial
-  Flex
-  Public
-  Parks/Recreation
-  PARCELS
-  City Boundary
-  Buildings
-  Boundaries

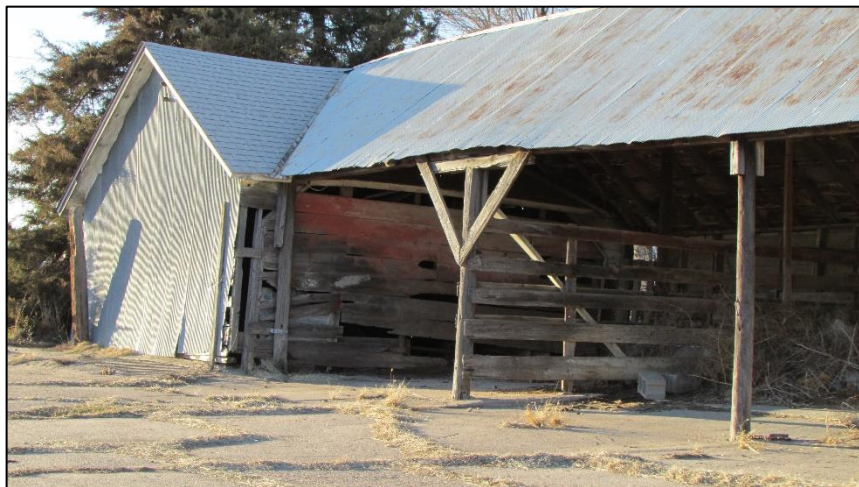


Hastings, Nebraska

Blight & Substandard Determination Study &
General Redevelopment Plan.



“Redevelopment Area #14.”



Prepared for:

The City of Hastings, Nebraska.

HANNA:KEELAN ASSOCIATES, P.C.
COMMUNITY PLANNING & RESEARCH

March, 2017

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HANNA:KEELAN ASSOCIATES, P.C. COMMUNITY PLANNING & RESEARCH

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DOWNTOWN, NEIGHBORHOOD & REDEVELOPMENT PLANNING *
CONSULTANTS FOR AFFORDABLE HOUSING DEVELOPMENTS**

**Lincoln, Nebraska* 402.464.5383 **

** Becky Hanna, Tim Keelan, Lonnie Dickson, AICP & Keith Carl **

BLIGHT & SUBSTANDARD DETERMINATION STUDY.

EXECUTIVE SUMMARY.

Purpose of Study/Conclusion

The purpose of this **Blight and Substandard Determination Study** is to apply the criteria set forth in the **Nebraska Community Development Law**, Section 18-2103, to the designated **Redevelopment Area #14** in **Hastings, Nebraska**. The results of this **Study** will assist the City in declaring **Area #14** as both **blighted and substandard**.

Location

Redevelopment Area #14 is located in the northeast corner of the City of Hastings, Nebraska, at the southeast corner of the intersection of East 33rd Street and Osborne Drive East. A portion of the **Redevelopment Area** adjacent Osborne Drive East is within the Corporate Limits of Hastings, with portions also adjacent, but beyond the current Corporate Limits. **Illustration 1, Context Map**, identifies **Area #14** in relationship to the City of Hastings. Key development features in **Area #14** include the former Walmart commercial area, three former farmsteads with several outbuildings and large undeveloped tracts of land.

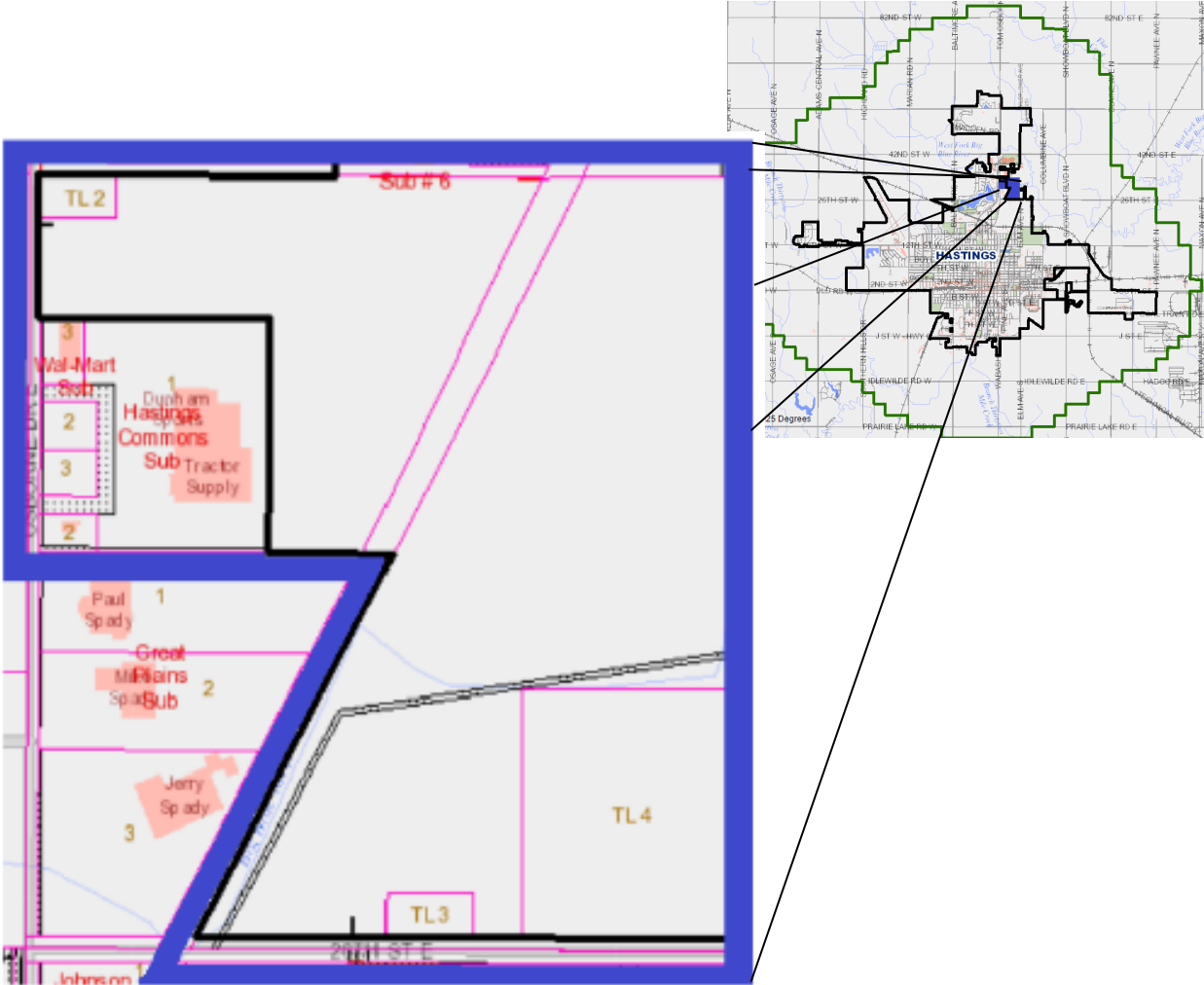
Additionally, the right-of-way of portions of East 33rd Street, Osborne Drive East and 26th Street East are also included in the **Redevelopment Area**.

The referenced **Redevelopment Area #14**, in the City of Hastings, Nebraska, includes the following Adams County Parcel ID #s:

1. #060001000. 3210 Osborne Drive East.
2. #010000008. East side of Osborne Drive East.
3. #010013898. Wal-Mart Subdivision Lot 3.
4. #010013896. Hastings Commons Subdivision Lot 1.
5. #010018600. Hastings Commons Subdivision Lot 2.
6. #010013897. Hastings Commons Subdivision Lot 3.
7. #010018601. Wal-Mart Subdivision Lot 2.
8. #010017957. 31-08-09 TR Land in S1/2 FR Sec 31-8-9 Abandoned RR (Tract 5).
9. #010000137. 31-08-09 Pt. FR S1/2 E of RR Ex Road & Ex. Tract 300x200 & 54 RDS x 441/2 RDS.
10. #010000136. 31-08-09 Pt. SE1/4 Tax Lot 3.
11. #010000138. 31-08-09 Pt. SE1/4 Tax Lot 4.

CONTEXT MAP

REDEVELOPMENT AREA #14
HASTINGS, NEBRASKA



LEGEND

- Redevelopment Area Boundary.
- Hastings Corporate Limits.

HANNA:KEELAN ASSOCIATES, P.C.
COMMUNITY PLANNING & RESEARCH

* Lincoln, Nebraska * 402.464.5383 *

ILLUSTRATION 1

The **blight and substandard evaluation** for **Redevelopment Area #14** included the implementation of an **exterior structural survey** of **23 individual buildings**, a **site/conditions evaluation** of **11 legal parcels**, conversations with City of Hastings administrative and utilities staff and a review of available reports and documents containing information which could substantiate the existence of **blight and substandard conditions**.

SUBSTANDARD AREA

As set forth in the Nebraska legislation, a **substandard area** shall mean one in which there is a predominance of buildings or improvements, whether nonresidential or residential in character, which by reason of the presence of the following factors:

1. Dilapidated/deterioration;
2. Age or obsolescence;
3. Inadequate provision for ventilation, light, air, sanitation or open spaces;
4. (a) High density of population and overcrowding; or
(b) The existence of conditions which endanger life or property by fire and other causes; or
(c) Any combination of such factors, is conducive to ill health, transmission of disease, infant mortality, juvenile delinquency, and crime, and is detrimental to the public health, safety, morals or welfare.

BLIGHTED AREA

As set forth in the Section 18-2103 (11) Nebraska Revised Statutes (Cumulative Supplement 1994), a **blighted area** shall mean "an area, which by reason of the presence of the following factors:

1. A substantial number of deteriorated or deteriorating structures;
2. Existence of defective or inadequate street layout;
3. Faulty lot layout in relation to size, adequacy, accessibility, or usefulness;
4. Insanitary or unsafe conditions;
5. Deterioration of site or other improvements;
6. Diversity of ownership;
7. Tax or special assessment delinquency exceeding the fair value of the land;
8. Defective or unusual conditions of title;

9. Improper subdivision or obsolete platting;
10. The existence of conditions which endanger life or property by fire or other causes;
11. Any combination of such factors, substantially impairs or arrests the sound growth of the community, retards the provision of housing accommodations or constitutes an economic or social liability; and
12. Is detrimental to the public health, safety, morals or welfare in its present condition and use; and in which there is at least one or more of the following conditions exists;
 1. Unemployment in the study or designated blighted area is at least one hundred twenty percent of the state or national average;
 2. The average age of the residential or commercial units in the area is at least 40 years;
 3. More than half of the plotted and subdivided property in an area is unimproved land that has been within the City for 40 years and has remained unimproved during that time;
 4. The per capita income of the study or designated blighted area is lower than the average per capita income of the City or Village in which the area is designated; or
 5. The area has had either stable or decreasing population based on the last two decennial censuses."

While it may be concluded the mere presence of a majority of the stated **Factors** may be sufficient to make a finding of **blight and substandard**, this evaluation was made on the basis that existing **Blight and Substandard Factors** must be present to an extent which would lead reasonable persons to conclude public intervention is appropriate or necessary to assist with any development or redevelopment activities. Secondly, the distribution of **Blight and Substandard Factors** throughout **Redevelopment Area #14** must be reasonably distributed so basically good areas are not arbitrarily found to be blighted simply because of proximity to areas which are **blighted and substandard**.

On the basis of this approach, Redevelopment Area #14 is found to be eligible as "blighted" and "substandard", within the definition set forth in the legislation. Specifically:

SUBSTANDARD FACTORS

Three Substandard Factors set forth in the Nebraska Community Development Law have a “strong presence,” while an additional Factor was found to have a “reasonable presence” within Redevelopment Area #14. The Substandard Factors are described in detail, below.

**TABLE 1
SUBSTANDARD FACTORS
REDEVELOPMENT AREA #14
HASTINGS, NEBRASKA**

- | | | |
|----|---|---|
| 1. | Dilapidated/deterioration. | ☐ |
| 2. | Age or obsolescence. | ☐ |
| 3. | Inadequate provision for ventilation, light, air, sanitation or open spaces. | ☐ |
| 4. | Existence of conditions which endanger life or property by fire and other causes. | ☐ |

Strong Presence of Factor	☐
Reasonable Presence of Factor	☐
No Presence of Factor	○

Source: Hanna:Keelan Associates, P.C., 2017.

Strong Presence of Factor -

The Structural/Site Conditions Survey recorded **19 structures**, or **83 percent of the 23 total structures** in Redevelopment Area #14 as being *deteriorated, with major defects, or dilapidated*. This Factor is a strong presence in the Area.

Based on the results of the Survey, a total of 20, or 87 percent of the 23 total buildings in the Area are **40+ years of age** (built prior to 1977). Also, according information from the Adams County Assessor Office and field work examination, the **average age** of residential structures in the Redevelopment Area is **95 years old**. The Factor of *Age or Obsolescence* is a strong presence within the Area.

The Structural/Site Conditions Survey provided evidence that the **Substandard Factor, *Existence of Conditions Which Endanger Life or Property***, by fire and other causes, is a **strong presence** throughout **Redevelopment Area #14**. Primary contributing elements include deteriorating and dilapidated buildings, as well as the existence of wood frame buildings containing combustible elements and fixtures. Undeveloped tracts of land lack municipal water, making fire protection difficult without a sustained source of water and are both functionally and economically obsolete.

Reasonable Presence of Factor -

The conditions which result in the ***Inadequate Provision for Ventilation, Light, Air, Sanitation or Open Space*** are a **reasonable presence** throughout the **Redevelopment Area**. The closest water and sewer mains to **Area #14** include a 10” diameter water mains located along Osborne Drive East and 26th Street East, while a 12” diameter sewer main is along Osborne Drive East and an 8” sewer line is located along 26th Street East. Although a 24” trunk line outfall sewer main follows the West Fork of the Big Blue River in the southern half of the **Area**, both water and sewer mains currently are lacking within undeveloped tracts of land within the **Redevelopment Area** and would need to be extended throughout the **Area** in support of future development.

The prevailing substandard conditions, evident in buildings and the public infrastructure, in Redevelopment Area #14, as determined by the field survey, include:

1. Aging and deteriorating structures;
2. Frame buildings and masonry buildings with wooden structural elements that both contain combustible building components and materials are potential fire hazards;
3. Average age of the residential structure is in excess of 40+ years of age; and
4. **Redevelopment Area #14** is currently not serviced by municipal water and sewer service, thus limiting development opportunities.
5. Large, undeveloped tracts of land, in current state, are both functionally and economically obsolete.

BLIGHT FACTORS

Of the **12 Blight Factors** set forth in the **Nebraska Community Development Law**, **seven** represent a “**strong presence**,” while **two** are present to a lesser, but “**reasonable presence**” within **Redevelopment Area #14**. The **Factors**, “diversity of ownership” and “tax or special assessment exceeding the fair value of land,” were of “little or no presence,” while the **Factor** “defective or unusual condition of title,” was not reviewed. **Blight Factors** are reasonably distributed throughout the **Redevelopment Area**.

**TABLE 2
BLIGHT FACTORS
REDEVELOPMENT AREA #14
HASTINGS, NEBRASKA**

1.	A substantial number of deteriorated or dilapidated structures.	☑
2.	Existence of defective or inadequate street layout.	☐
3.	Faulty lot layout in relation to size, adequacy, accessibility or usefulness.	☐
4.	Insanitary or unsafe conditions.	☑
5.	Deterioration of site or other improvements.	☑
6.	Diversity of Ownership.	○
7.	Tax or special assessment delinquency exceeding the fair value of land.	○
8.	Defective or unusual condition of title.	NR
9.	Improper subdivision or obsolete platting.	☑
10.	The existence of conditions which endanger life or property by fire or other causes.	☑
11.	Other environmental and blighting factors.	☑
12.	One of the other five conditions.	☑

Strong Presence of Factor	☑
Reasonable Presence of Factor	☐
Little or No Presence of Factor	○
Not Reviewed	NR

Source: Hanna:Keelan Associates, P.C., 2017.

Strong Presence of Factor –

Deteriorated Structures are a **strong presence** in **Redevelopment Area #14**. A total of 19 structures, or 83 percent of the 23 total structures were recorded as being **deteriorated to a major extent, or dilapidated**.

Insanitary or Unsafe Conditions are a **strong presence** throughout the entire **Redevelopment Area**. Conditions contributing to this **Factor** include substandard structures and properties within and adjacent the Corporate Limits of the City of Hastings that lack access to municipal infrastructure.

Deterioration of Site or Other Improvements is a **strong presence** throughout the **Redevelopment Area**. Of the total 11 parcels examined, seven have “fair” overall site conditions and one additional parcel has “poor” site conditions. These parcels combine for a total of 73 percent, or eight of the total 11 parcels as having “fair” to “poor” overall site conditions.

Improper Subdivision or Obsolete Platting is a **strong presence** throughout **Redevelopment Area #14**. Three Tax Lots exist that have been incrementally split off from larger undeveloped tracts in support of rural dwellings. Undeveloped tracts of land are prone to piecemeal development of individual lot splits, lack access to municipal infrastructure and are considered to be both **functionally and economically obsolescent**.

The ***Existence of Conditions Which Endanger Life or Property*** by fire or other causes is a **strong presence** within the **Redevelopment Area #14**. Conditions associated with this **Factor** include the existence of deteriorating and dilapidated structures, including wood frame buildings containing combustible elements and fixtures. Additionally, the majority of the **Redevelopment Area** lacks modern municipal infrastructure for the adequate protection of health and human safety.

Other Environmental and Blighting Factors, including economically and socially undesirable land uses and functional obsolescence is a **strong presence** throughout **Redevelopment Area #14**. The **Area** contains an abandoned farmstead that is no longer associated with adjacent agricultural production and two additional rural dwellings that were split off from adjacent land areas and contain outbuildings no longer utilized for agricultural uses. The outbuildings, including a barn, equipment sheds, tool sheds and grain silos, are deteriorating with major defects or are dilapidated, not cost effective to rehabilitate, and are thus functionally obsolescent. Two tracts of undeveloped land adjacent the Corporate Limits of Hastings lack modern municipal infrastructure rendering the tracts of undeveloped land both **economically and functionally obsolescent**.

One of the Required Five Additional Blight Factors has a **strong presence** throughout the **Redevelopment Area**. Based on the results of research activities, the estimated **average age** of residential structures is **95 years**, while the **average age of commercial structures** is **20 years**.

Reasonable Presence of Factor –

Defective or Inadequate Street Layout is a **reasonable presence** in **Redevelopment Area #14**. The undeveloped tracts of land within **Area #14** lack municipal streets that limits future development opportunities.

Faulty Lot Layout is a **reasonable presence** throughout **Redevelopment Area #14**. Conditions contributing to the presence of this **Factor** include inadequate lot sizes, consisting of undeveloped tracts of land in the central and eastern portions of the **Redevelopment Area**. These tracts of land, although adjacent the Corporate Limits of Hastings, have remained as such due to the lack of appropriate infrastructure and, thus, are both **functionally** and **economically obsolete**. Water and sewer mains are within reasonable distances of these undeveloped tracts and will need to be in place to promote new development on the tracts.



Little or No Presence of Factor –

The *Diversity of Ownership* is of **little or no presence** throughout **Redevelopment Area #14**. Research of public records from the Adams County Assessor office identified that **eight individuals or corporations** own property in the **Area**.

The Factor of *Tax or Special Assessment Delinquency Exceeding the Fair Value of Land* was found to be of little or no presence throughout **Redevelopment Area #14**. None of the 11 parcels within the **Area** were property tax delinquent.

Conclusion

It is the conclusion of the Consultant retained by the City of Hastings that the number, degree and distribution of **Blight and Substandard Factors**, as documented in this **Executive Summary**, are beyond remedy and controlled solely by regulatory processes in the exercise of the police power and cannot be dealt with effectively by the ordinary operations of private enterprise without the financial aids provided in the **Nebraska Community Development Law**. It is also the opinion of the Consultant that the findings of this **Blight and Substandard Determination Study** warrant designating **Redevelopment Area #14** as "substandard" and "blighted."

The conclusions presented in this **Study** are those of the Consultant engaged by the City of Hastings to examine conditions of **blight and substandard**. The Hastings City Council should review this **Study** and, if satisfied with the summary of findings contained herein, may adopt a resolution making a **finding of blight and substandard** and this **Study** a part of the public record.



BASIS FOR REDEVELOPMENT

For a project in the City of Hastings to be eligible for redevelopment under the **Nebraska Community Development Law**, for the use of Tax Increment Financing, the subject area or areas must first qualify as both a “**substandard**” and “**blighted**” area, within the definition set forth in the **Nebraska Community Development Law**. This **Study** has been undertaken to determine whether conditions exist which would warrant designation of **Redevelopment Area #14** as a “**blighted and substandard area**” in accordance with provisions of the law.

As set forth in Section 18-2103 (10) Neb. Rev. Stat. (Cumulative Supplement 1994), a **substandard area** shall mean an area in which there is a predominance of buildings or improvements, whether nonresidential or residential in character, which by reason of the following:

1. Dilapidation/deterioration;
2. Age or obsolescence;
3. Inadequate provision for ventilation, light, air, sanitation or open spaces;
4.
 - (a) High density of population and overcrowding; or
 - (b) The existence of conditions which endanger life or property by fire and other causes; or
 - (c) Any combination of such factors is conducive to ill health, transmission of disease, infant mortality, juvenile delinquency and crime, and is detrimental to the public health, safety, morals or welfare.

As set forth in the Nebraska legislation, a **blighted area** shall mean an area, which by reason of the presence of:

1. A substantial number of deteriorating structures;
2. Existence of defective or inadequate street layout;
3. Faulty lot layout in relation to size, adequacy, accessibility or usefulness;
4. Insanitary or unsafe conditions;
5. Deterioration of site or other improvements;
6. Diversity of ownership;
7. Tax or special assessment delinquency exceeding the fair value of the land;
8. Defective or unusual conditions of title;
9. Improper subdivision or obsolete platting;

10. The existence of conditions which endanger life or property by fire or other causes;
11. Any combination of such factors, substantially impairs or arrests the sound growth of the community, retards the provision of housing accommodations or constitutes an economic or social liability;
12. Is detrimental to the public health, safety, morals, or welfare in its present condition and use; and in which there is at least one of the following conditions:
 1. Unemployment in the designated blighted area is at least one hundred twenty percent of the state or national average;
 2. The average age of the residential or commercial units in the area is at least 40 years;
 3. More than half of the plotted and subdivided property in the area is unimproved land that has been within the City for 40 years and has remained unimproved during that time;
 4. The per capita income of the designated blighted area is lower than the average per capita income of the City or Village in which the area is designated; or
 5. The area has had either stable or decreasing population based on the last two decennial censuses.

The Consultant for this **Blight and Substandard Determination Study** was guided by the premise that the finding of **blight and substandard** must be defensible and sufficient evidence of the presence of **Factors** should exist so members of the City Council of Hastings (local governing body), acting as reasonable and prudent persons, could conclude public intervention is necessary or appropriate. Therefore, each factor was evaluated in the context of the extent of its presence and the collective impact of all **Factors** found to be present.

Also, these deficiencies should be reasonably distributed throughout **Redevelopment Area #14**. Such a "reasonable distribution of deficiencies test" would preclude localities from taking concentrated **areas of blight and substandard conditions** and expanding the areas arbitrarily into non-blighted/ substandard areas for planning or other reasons. The only exception which should be made to this rule is where projects must be brought to a logical boundary to accommodate new development and ensure accessibility, but even in this instance, the inclusion of such areas should be minimal and related to an area otherwise meeting the reasonable distribution of deficiencies test.

THE STUDY AREA

The purpose of this **Study** is to determine whether **Redevelopment Area #14** in Hastings, Nebraska, qualifies as a **blighted and substandard area**, within the definition set forth in the **Nebraska Community Development Law**, Section 18-2103.

Location

Redevelopment Area #14 is located in the northeast corner of the City of Hastings, Nebraska, at the southeast corner of the intersection of East 33rd Street and Osborne Drive East. A portion of the **Redevelopment Area** adjacent Osborne Drive East is within the Corporate Limits of Hastings, with portions also adjacent, but beyond the current Corporate Limits. **Illustration 1, Context Map**, identifies **Area #14** in relationship to the City of Hastings. Key development features in **Area #14** include the former Walmart commercial area, three former farmsteads with several outbuildings and large undeveloped tracts of land.

Additionally, the right-of-way of portions of East 33rd Street, Osborne Drive East and 26th Street East are also included in the **Redevelopment Area**.

The referenced **Redevelopment Area #14**, in the City of Hastings, Nebraska, includes the following Adams County Parcel ID #s:

1. #060001000. 3210 Osborne Drive East.
2. #010000008. East side of Osborne Drive East.
3. #010013898. Wal-Mart Subdivision Lot 3.
4. #010013896. Hastings Commons Subdivision Lot 1.
5. #010018600. Hastings Commons Subdivision Lot 2.
6. #010013897. Hastings Commons Subdivision Lot 3.
7. #010018601. Wal-Mart Subdivision Lot 2.
8. #010017957. 31-08-09 TR Land in S1/2 FR Sec 31-8-9 Abandoned RR (Tract 5).
9. #010000137. 31-08-09 Pt. FR S1/2 E of RR Ex Road & Ex. Tract 300x200 & 54 RDS x 441/2 RDS.
10. #010000136. 31-08-09 Pt. SE1/4 Tax Lot 3.
11. #010000138. 31-08-09 Pt. SE1/4 Tax Lot 4.

Table 3 identifies the **existing land use pattern** in **Redevelopment Area #14**, in terms of number of acres and percentage of total for all existing land uses. This includes, primarily, residential, commercial, trail and undeveloped land uses. **Area #14** consists of an estimated 126.4 acres, of which an estimated 18.4 percent is developed. The existing land use is graphically presented on **Illustration 2**.

**TABLE 3
EXISTING LAND USE
REDEVELOPMENT AREA #14
HASTINGS, NEBRASKA**

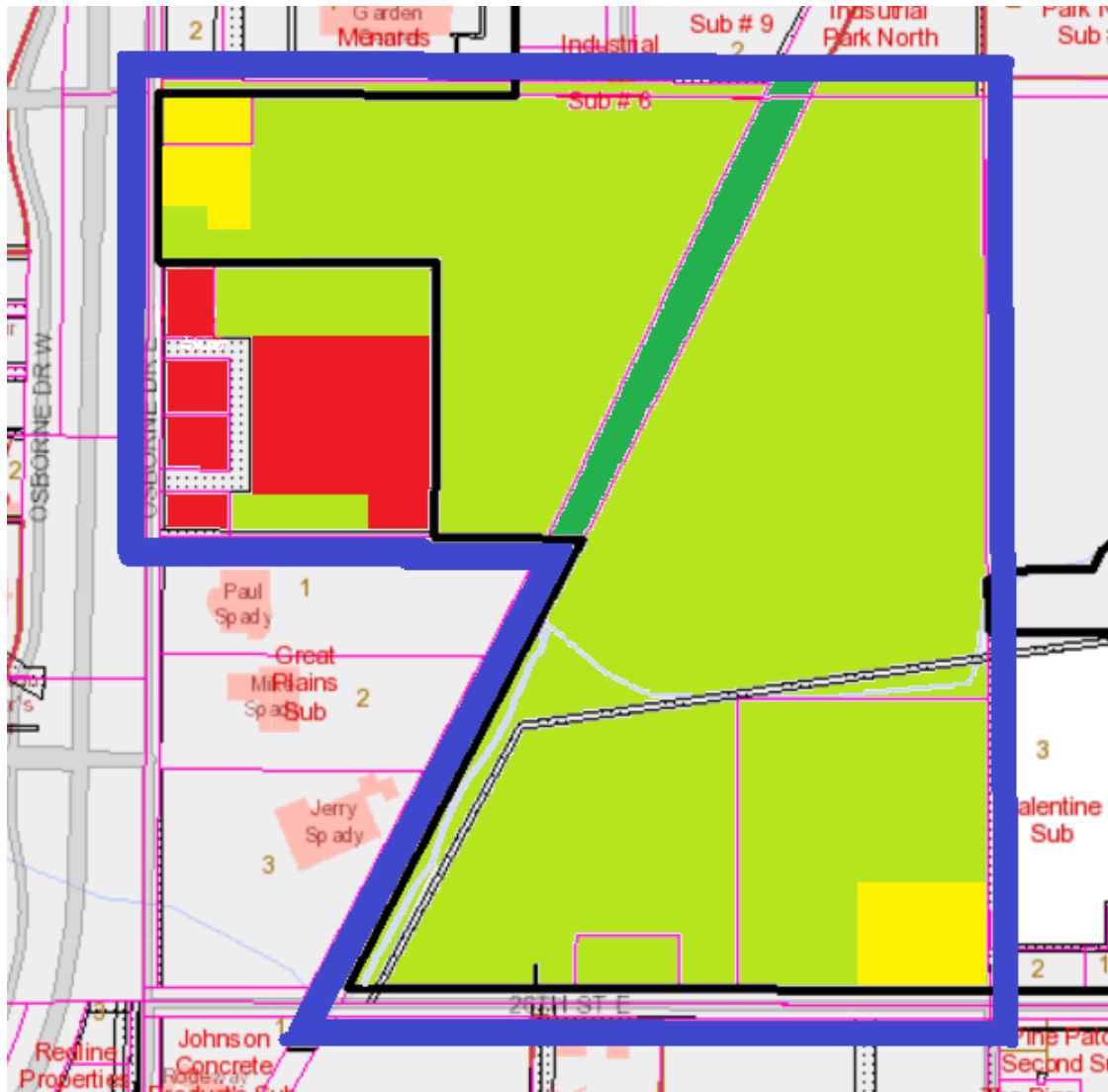
<u>Land Use</u>	<u>Acres</u>	<u>Percent</u>
Residential	4.6	3.6%
Commercial	9.7	7.7%
Municipal Streets	5.3	4.2%
Trail	3.6	2.9%
<u>Undeveloped</u>	<u>103.2</u>	<u>81.6%</u>
Total Acreage	126.4	100.0%

Source: Hanna:Keelan Associates, P.C., 2017.







Illustration 3 identifies the existing **Zoning Classifications** in **Redevelopment Area #14**, “A - Agricultural District” occupies the majority of the **Area**. A square shaped area adjacent the Osborne Drive East is zoned “C-3” Commercial Business District in support of former Walmart property and strip mall development. Zoning activities throughout **Area #14** are controlled by the City of Hastings. All parcels within the **Area**, with the exception of the C-3 zoned properties, are located directly adjacent, but beyond the current Corporate Limits of Hastings.

EXISTING LAND USE MAP

REDEVELOPMENT AREA #14
HASTINGS, NEBRASKA



LEGEND

-  UNDEVELOPED
-  TRAIL
-  SINGLE FAMILY RESIDENTIAL
-  COMMERCIAL
-  REDEVELOPMENT AREA #14 BOUNDARY
-  CITY OF HASTINGS CORPORATE LIMITS

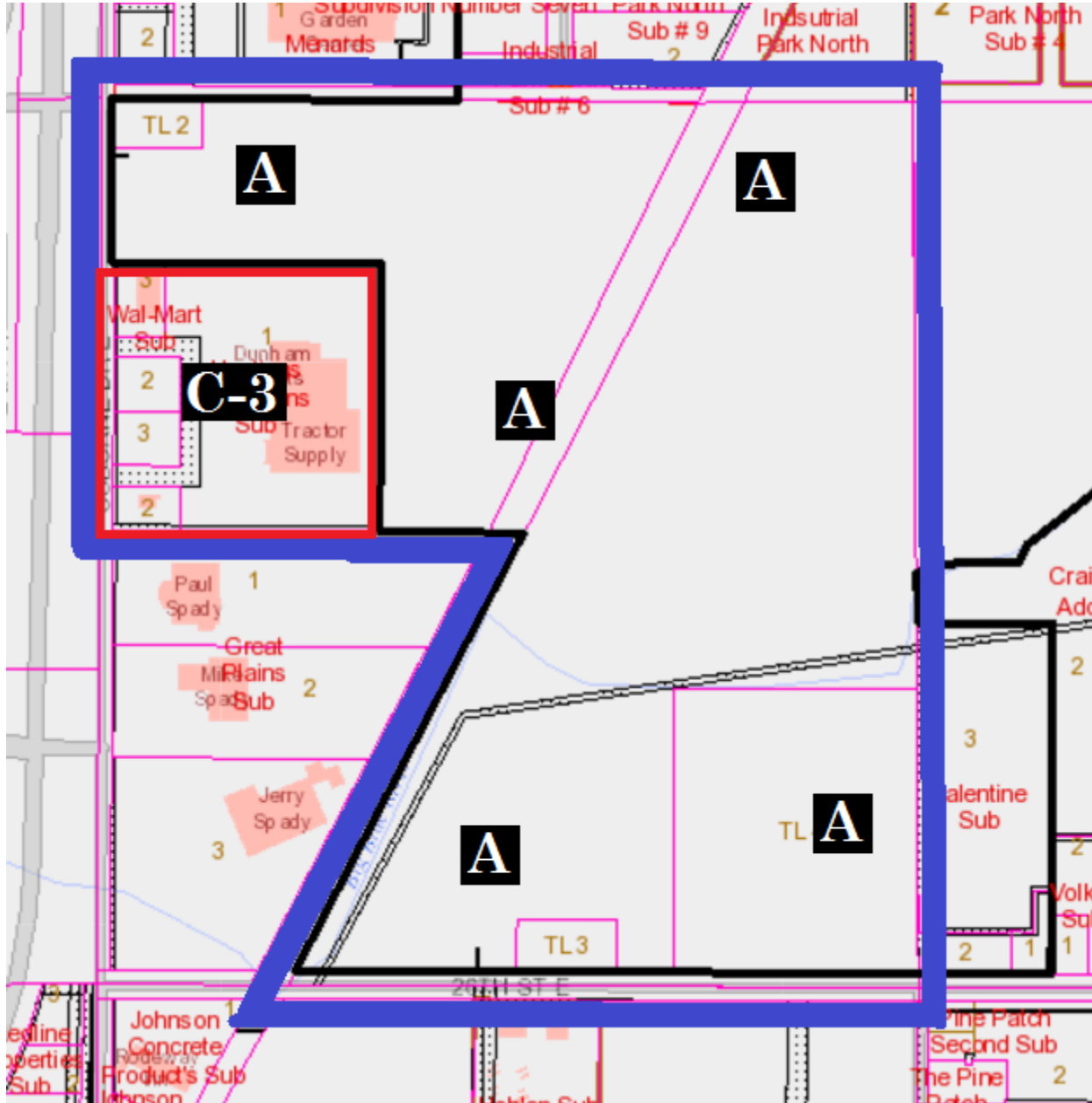
HANNA:KEELAN ASSOCIATES, P.C.
COMMUNITY PLANNING & RESEARCH

* Lincoln, Nebraska * 402.464.5383 *

ILLUSTRATION 2

EXISTING ZONING MAP

REDEVELOPMENT AREA #14
HASTINGS, NEBRASKA



HANNA:KEELAN ASSOCIATES, P.C.
COMMUNITY PLANNING & RESEARCH

* Lincoln, Nebraska * 402.464.5383 *

LEGEND

- A - AGRICULTURAL DISTRICT
- C-3 - COMMERCIAL BUSINESS DISTRICT
- ZONING DISTRICT BOUNDARY
- REDEVELOPMENT AREA #14 BOUNDARY
- CITY OF HASTINGS CORPORATE LIMITS

ILLUSTRATION 3

THE RESEARCH APPROACH

The **blight and substandard determination research approach** implemented for **Redevelopment Area #14** included an area-wide assessment (100 percent sample) of all of the Blight and Substandard Factors identified in the **Nebraska Community Development Law**, with the exception of **defective or unusual condition of title**. All **Factors** were investigated on an area-wide basis.

Structural/Site Conditions Survey Process

The rating of building conditions is a critical step in determining the eligibility of an area for redevelopment. It is important that the system for classifying buildings be based on established evaluation standards and criteria and that it result in an accurate and consistent description of existing conditions.

A Structural/Site Conditions Survey was conducted in February, 2017. A total of **23 individual structures** received an exterior evaluation. These structures were evaluated to document structural deficiencies to identify related environmental deficiencies. **Redevelopment Area #14**.

The Structural/Site Conditions Survey also included the evaluation of **11 separate legal parcels**. The existing and adjacent land uses, overall site conditions, existence of debris, parking conditions and street, sidewalk and alley surface conditions were evaluated for each parcel. **Several parcels within Redevelopment Area #14 contained multiple structures and were evaluated separately for building conditions, only.**

The **Structural/Site Conditions Survey Form** is included in the **Appendix**, as well as the results of the Survey.

Research on Property Ownership and Financial Assessment of Properties

Public records and aerial photographs of all parcels in **Redevelopment Area #14** were analyzed to determine the number of property owners within **Area #14**.

An examination of public records was conducted to determine if tax delinquencies existed for properties in the **Redevelopment Area**. The valuation, tax amount and any delinquent amount was examined for each of the properties.

ELIGIBILITY SURVEY AND ANALYSIS FINDINGS

An analysis was made of each of the **Blight and Substandard Factors** listed in the Nebraska legislation to determine whether each or any were present in **Redevelopment Area #14** and, if so, to what extent and in what locations. The following represents a summary evaluation of each **Blight and Substandard Factor** presented in the order of listing in the law.

SUBSTANDARD FACTORS

(1) Dilapidation/Deterioration of Structures

The rating of building conditions is a critical step in determining the eligibility of a substandard area for redevelopment. The system for classifying buildings must be based on established evaluation standards and criteria and result in an accurate and consistent description of existing conditions.

The following summarizes the process used for assessing building conditions in **Redevelopment Area #14**, the standards and criteria used for evaluation and the findings as to the existence of dilapidation/deterioration of structures.

The building condition analysis was based on an exterior inspection of all **23 existing structures**, within the **Area**, to note structural deficiencies in individual buildings and to identify related environmental deficiencies for individual sites or parcels within the **Area**.

1. Structures/Building Systems Evaluation.

During the on-site field analysis, each component of a structure/building was examined to determine whether it was in sound condition or has minor, major, or critical defects. Structures/building systems examined included the following three types, **one Primary** and **two Secondary**.

Structural Systems (Primary Components). These include the basic elements of any structure/building: roof structure, wall foundation, and basement foundation.

(Secondary Components)

Building Systems. These components include: roof surface condition, chimney, gutters/down spouts, and exterior wall surface.

Architectural Systems. These are components generally added to the structural systems and are necessary parts of the structure/building, including exterior paint, doors, windows, porches, steps, and fire escape, and driveways and site conditions.

The evaluation of each individual parcel of land included the review and evaluation of: adjacent land use, street surface type, street conditions, sidewalk conditions, parking, railway track/right-of-way composition, existence of debris, existence of vagrants, and overall site condition, and the documentation of age and type of structure/building.

2. **Criteria for rating components for structural, building and architectural systems.**

The components for the previously identified Systems were individually rated utilizing the following criteria.

Sound. Component that contained no defects, is adequately maintained, and requires no treatment outside of normal ongoing maintenance.

Minor Defect. Component that contains minor defects (loose or missing material or holes and cracks over a limited area). These can be corrected through the course of normal maintenance. The correction of such defects may be accomplished by the owner or occupant, such as pointing masonry joints over a limited area or replacement of less complicated systems. Minor defects are considered in rating a structure/building as deteriorating/dilapidated.

Major Defect. Components that contained major defects over a widespread area and would be difficult to correct through normal maintenance. Structures/buildings having major defects would require replacement or rebuilding of systems by people skilled in the building trades.

Critical Defect. Components that contained critical defects (bowing, sagging, or settling to any or all exterior systems causing the structure to be out-of-plumb or broken, loose or missing material and deterioration over a widespread area) so extensive the cost of repairs would be excessive in relation to the value returned on the investment.

3. Final Structure/Building Rating.

After completion of the **Exterior Rating** of each structure/building, each individual structure/building was placed in one of four categories, based on the combination of defects found with Components contained in Structural, Building and Architectural Systems. Each final rating is described below:

Sound. Defined as structures/buildings that can be kept in a standard condition with normal maintenance. Structures/buildings, so classified, **have less than six points.**

Deteriorating-Minor. Defined as structures/buildings classified as deficient--requiring minor repairs--**having between six and 10 points.**

Deteriorating-Major. Defined as structures/buildings classified as deficient--requiring major repairs-- **having between 11 and 20 points.**

Dilapidated. Defined as structurally substandard structures / buildings containing defects that are so serious and so extensive that it may be most economical to raze the structure/building. Structures/buildings classified as dilapidated will **have at least 21 points.**

An individual **Exterior Rating Form** is completed for each structure/building. The results of the **Exterior Rating** of all structures/buildings are presented in a **Table format.**

Primary Components	Secondary Components
One Critical = 11 pts.	One Critical = 6 pts.
Major Deteriorating = 6 pts.	Major Deteriorating = 3 pts.
Minor = 2 pts.	Minor = 1 pt.

Major deficient buildings are considered to be the same as deteriorating buildings as referenced in the Nebraska legislation; substandard buildings are the same as dilapidated buildings. The word "building" and "structure" are presumed to be interchangeable.

4. Field Survey Conclusions.

The conditions of the **23 structures** within the **Redevelopment Area** were determined based on the finding of the exterior survey. These surveys indicated the following:

- Two (2) structures was classified as structurally **sound**;
- Two (2) structures were classified as **deteriorating** with **minor** defects.
- Twelve (12) structures were classified as **deteriorating** with **major** defects; and
- Seven (7) structures was classified as **dilapidated**.

The results of the **Structural/Site Conditions Survey** recorded the condition of structures throughout **Redevelopment Area #14**. **Of the 23 total structures, 19 (83 percent) are estimated to be deteriorated, with major defects, or dilapidated.**

Conclusion.

The results of the **Structural/Site Conditions Survey** documented that both **deteriorated and dilapidated structures** are a strong presence within **Redevelopment Area #14**. **Table 4 identifies the results of the structural rating process per building type.**

**TABLE 4
EXTERIOR SURVEY FINDINGS
REDEVELOPMENT AREA #14
HASTINGS, NEBRASKA**

Exterior Structural Rating

<u>Activity</u>	<u>Sound</u>	<u>Deteriorating (Minor)</u>	<u>Deteriorating (Major)</u>	<u>Dilapidated</u>	<u>Number of Structures</u>	<u>Deteriorating (Major) and/or Dilapidated</u>
Residential	0	1	1	1	3	2
Commercial	2	1	0	0	3	0
<u>Other</u>	<u>0</u>	<u>0</u>	<u>11</u>	<u>6</u>	<u>17</u>	<u>17</u>
Totals	2	2	12	7	23	19
Percent	8.7%	8.7%	52.2%	30.4%	100.0%	82.6%

Source: Hanna:Keelan Associates, P.C., 2017.

(2) Age of Obsolescence.

As per the results of the **Structural/Site Conditions Survey** with confirmation from the Adams County Assessor office, a total of 20, or 87 percent of the 23 structures in the **Redevelopment Area** are 40+ years of age, or built prior to 1977. Additionally, the estimated “**average age of residential structures**” in the Area is **95 years of age**.

Conclusion.

The age and obsolescence of the structures in Redevelopment Area #14 is a strong presence.



(3) **Inadequate Provision for Ventilation, Light, Air, Sanitation or Open Spaces.**

The results of the **Structural/Site Conditions Survey**, in addition to other important, pertinent field data, provided the basis for the identification of **insanitary and unsafe conditions** in **Redevelopment Area #14**. **Factors** contributing to these conditions are discussed below.

Eight, or 73 percent of the 11 total parcels in Redevelopment Area #14 had site features, such as access roads or private driveways and yard and landscaping conditions that were noticeably deteriorating. **Seven parcels, or 64 percent of the 11 total parcels were identified as having “fair” overall site conditions, while an additional parcel was in “poor” condition.** These parcels combine for a total of **eight, or 73 percent of the 11 parcels having “fair” to “poor” overall site conditions.**

The City of Hastings Utility Staff reported that the portion of the **Redevelopment Area** that fronts Osborne Drive East and 26th Street East is adjacent water and sewer mains, while the undeveloped tracts of land would need extensions of these utility systems to support development opportunities. A large 24” diameter outfall sewer main extends from 26th Street East to the northeast along the West Folk of the Big Blue River that is 54 years of age.

The water mains in **Area #14**, include a 10” diameter water main within the Osborne Drive East right-of-way that is an estimated 30 years old and a 12” diameter sewer main that stops at the north line of the Wal-Mart Subdivision that is an estimated 27 years old. A 10” water and an 8” sewer main were both installed in 26th Street East in 1994, thus 23 years of age.

City Utility Staff stated that all mains in **Area #14** are in good condition and capable of being extended to service the entire **Redevelopment Area**. Staff did state that the 54 year old outfall sewer main is becoming aged and may need replacing in the near future. The extension of these utility mains to support development opportunities at the **Redevelopment Area** are costly and without public/private partnerships, future development in **Area #14** would not be cost effective.

Conclusion

The inadequate provision for ventilation, light, air, sanitation or open spaces in Redevelopment Area #14 is a reasonable presence.

4) **The Existence of Conditions Which Endanger Life or Property by Fire and Other Causes.**

1. **Building Elements that are Combustible.**

There are wood framed buildings containing combustible elements and fixtures in **Redevelopment Area #14**. **A total of 12 structures, or 52 percent of the 23 total buildings were recorded as deteriorated, with major defects, and seven, or 31 percent, additional structures were recorded as being dilapidated. Combined, these structures account for 83 percent of the structures being deteriorated or dilapidated.**

2. **Lack of Adequate Utilities.**

The City of Hastings Utility Staff reported that the portion of the **Redevelopment Area** that fronts Osborne Drive East and 26th Street East is adjacent water and sewer mains that are 27 to 30 years of age, while the mains along 26th Street East are an estimated 23 years of age. A large 24” diameter outfall sewer main extends from 26th Street East to the northeast along the West Folk of the Big Blue River that is an estimated 54 years of age. City Utility Staff stated that all mains are in good condition and capable of being extended to service the entire **Redevelopment Area**. Staff stated that the 54 year old outfall sewer main is becoming aged and may need replacing in the near future. The extension of these utility mains to support development opportunities throughout the undeveloped tracts of land in the **Redevelopment Area** are costly and without public/private partnerships, future development in **Area #14** would not be cost effective.

3. **Advanced Age of Structures.**

A total of 20 structures, or 87 percent of the 23 total structures in the **Redevelopment Area** were built prior to 1977, thus 40+ years of age. **The average age of the residential structures is estimated to be 95 years.**

4. **Overall Site Condition.**

The Structural/Site Conditions Survey identified seven parcels, or 64 percent of the total 11 parcels as being in “fair” condition and one additional structure as in “poor” condition. This determination included the evaluation of the general condition of structures, site improvements and adjacent right-of-way conditions. **These conditions combine for 73 percent of the total parcels having “fair” to “poor” overall site conditions.**

Conclusion.

The conditions which endanger life or property by fire and other causes are a strong presence throughout Redevelopment Area #14.

BLIGHT FACTORS

(1) Dilapidation/Deterioration of Structures.

The rating of building conditions is a critical step in determining the eligibility of a substandard area for redevelopment. The system for classifying buildings must be based on established evaluation standards and criteria and result in an accurate and consistent description of existing conditions.

This section summarizes the process used for assessing building conditions in **Redevelopment Area #14**, the standards and criteria used for evaluation and the findings as to the existence of dilapidation/deterioration of structures.

The building condition analysis was based on an exterior inspection of **5 existing buildings**, within the **Area**, to note structural deficiencies in individual buildings and to identify related environmental deficiencies for individual sites or parcels within the **Redevelopment Area**.

1. Structures/Building Systems Evaluation.

During the on-site field analysis, each component of a structure/building was examined to determine whether it was in sound condition or has minor, major, or critical defects. Structures/building systems included the following three types, **one Primary** and **two Secondary**.

Structural Systems (Primary Components). These include the basic elements of any structure/building: roof structure, wall foundation, and basement foundation.

(Secondary Components)

Building Systems. These components include: roof surface condition, chimney, gutters/down spouts, and exterior wall surface.

Architectural Systems. These are components generally added to the structural systems and are necessary parts of the structure/building, including exterior paint, doors, windows, porches, steps, and fire escape, and driveways and site conditions.

The evaluation of each individual parcel of land included the review and evaluation of: adjacent land use, street surface type, street conditions, sidewalk conditions, parking, railway track/right-of-way composition, existence of debris, existence of vagrants, and overall site condition, and the documentation of age and type of structure/building.

2. **Criteria for Rating Components for Structural, Building and Architectural Systems.**

The components for the previously identified Systems, are individually rated utilizing the following criteria.

Sound. Component that contained no defects, is adequately maintained, and requires no treatment outside of normal ongoing maintenance.

Minor Defect. Component that contained minor defects (loose or missing material or holes and cracks over a limited area) which often can be corrected through the course of normal maintenance. The correction of such defects may be accomplished by the owner or occupant, such as pointing masonry joints over a limited area or replacement of less complicated systems. Minor defects are considered in rating a structure/building as deteriorating/dilapidated.

Major Defect. Components that contained major defects over a widespread area and would be difficult to correct through normal maintenance. Structures/buildings having major defects would require replacement or rebuilding of systems by people skilled in the building trades.

Critical Defect. Components that contained critical defects (bowing, sagging, or settling to any or all exterior systems causing the structure to be out-of-plumb or broken, loose or missing material and deterioration over a widespread area) so extensive the cost of repairs would be excessive in relation to the value returned on the investment.

3. Final Structure/Building Rating.

After completion of the **Exterior Rating** of each structure/building, each individual structure/building was placed in one of four categories, based on the combination of defects found with Components contained in Structural, Building and Architectural Systems. Each final rating is described below:

Sound. Defined as structures/buildings that can be kept in a standard condition with normal maintenance. Structures/buildings, so classified, **have less than six points**.

Deteriorating-Minor. Defined as structures/buildings classified as deficient--requiring minor repairs--**having between six and 10 points**.

Deteriorating-Major. Defined as structures/buildings classified as deficient--requiring major repairs-- **having between 11 and 20 points**.

Dilapidated. Defined as structurally substandard structures/buildings containing defects that are so serious and so extensive that it may be most economical to raze the structure/building. Structures/buildings classified as dilapidated will **have at least 21 points**.

An individual *Exterior Rating Form* is completed for each structure/building. The results of the *Exterior Rating* of all structures/buildings are presented in a *Table format*.

Primary Components	Secondary Components
One Critical = 11 pts.	One Critical = 6 pts.
Major Deteriorating = 6 pts.	Major Deteriorating = 3 pts.
Minor = 2 pts.	Minor = 1 pt.

Major deficient buildings are considered to be the same as deteriorating buildings as referenced in the Nebraska legislation; substandard buildings are the same as dilapidated buildings. The word "building" and "structure" are presumed to be interchangeable.

4. Field Survey Conclusions.

The conditions of the total **23 buildings** within **Redevelopment Area #14** were determined based on the finding of the exterior survey. These surveys indicated the following:

- Two (2) structure was classified as structurally **sound**;
- Two (2) structures were classified as **deteriorating** with **minor** defects.
- Twelve (12) structures were classified as **deteriorating** with **major** defects; and
- Seven (7) structures was classified as **dilapidated**.

The results of the **Structural/Site Conditions Survey** recorded the condition of structures throughout **Redevelopment Area #14**. **Of the 23 total structures, 19 (83 percent) are estimated to be deteriorated, with major defects, or dilapidated.**

Conclusion.

The results of the **Structural/Site Conditions Survey** documented that both **deteriorated and dilapidated structures** are a **strong presence** within **Redevelopment Area #14**. **Table 4 identifies the results of the structural rating process per building type.**



**TABLE 5
EXTERIOR SURVEY FINDINGS
REDEVELOPMENT AREA #14
HASTINGS, NEBRASKA**

Exterior Structural Rating

<u>Activity</u>	<u>Sound</u>	<u>Deteriorating (Minor)</u>	<u>Deteriorating (Major)</u>	<u>Dilapidated</u>	<u>Number of Structures</u>	<u>Deteriorating (Major) and/or Dilapidated</u>
Residential	0	1	1	1	3	2
Commercial	2	1	0	0	3	0
<u>Other</u>	<u>0</u>	<u>0</u>	<u>11</u>	<u>6</u>	<u>17</u>	<u>17</u>
Totals	2	2	12	7	23	19
Percent	8.7%	8.7%	52.2%	30.4%	100.0%	82.6%

Source: Hanna:Keelan Associates, P.C., 2017.



2) Existence of Defective or Inadequate Street Layout.

Streets, or County Roads within **Redevelopment Area #14** exist in a standard grid alignment. Streets in the **Area** include Osborne Drive East, 33rd Street East (as a platted right-of-way, currently) and 26th Street East, which make up the north, west and south boundaries of the **Redevelopment Area**. The lack of streets within the undeveloped tracts of land have prohibited development throughout the **Area**.

Conclusion.

The existence of defective or inadequate street layout in Redevelopment Area #14 is of reasonable presence of Factor.

3) **Faulty Lot Layout in Relation to Size, Adequacy, Accessibility or Usefulness.**

Building use and condition surveys, the review of property ownership and subdivision records and field surveys resulted in the recording of conditions associated with **faulty lot layout in relation to size, adequacy and accessibility, or usefulness** of land within **Redevelopment Area #14**. Problem conditions include:

1. **Accessibility or Usefulness.**

Undeveloped tracts of land in **Redevelopment Area #14** are currently separated by a hiker/biker trail, which limits access to the northwest tract located by Osborne Drive East and to the eastern tract by only 26th Street East. The platted, but currently undeveloped 33rd Street East also prohibits access to these tracts of land. The lack of street networks throughout the undeveloped tracts of land render these areas both **functionally** and **economically obsolete**.

2. **Inadequate Lot Size and Adequacy Issues.**

Irregular tracts of land exist in **Redevelopment Area #14**. The 1.03 acre “Tax Lot #2,” in the northwest corner of the **Area** was subdivided from a larger tract to the east to support a single family dwelling. “Tax Lot #3” consists of a 1.1 acre lot. Both tracts are adjacent, but beyond the current Corporate Limits of Hastings and are undeveloped, identified by metes and bounds description. Land parcels of large size promote incremental development, by splitting off tracts of land larger than 10 acres in size, thus being exempt from the Subdivision Regulations of the City of Hastings. Undeveloped land in close proximity to the Corporate Limits of Hastings are attractive for future development and should be planned as a phased subdivisions in support of future growth for the City.

Conclusion.

Faulty lot layout in relation to size, adequacy and usefulness is a reasonable presence throughout Redevelopment Area #14.

(4) Insanitary and Unsafe Conditions.

The results of the area-wide field survey, along with information obtained from City Officials provided the basis for the identification of **insanitary and unsafe conditions** within **Redevelopment Area #14**.

1. **Age of Structures.**

The evaluation of all 23 structures in the **Redevelopment Area** identified **83 percent**, or **19 structures as being 40+ years of age, or built prior to 1977**. The estimated average age of the residential dwellings is 95 years. The advanced age of the residential structure can result in the occurrence of a deteriorated building and other structures with deferred maintenance and, thus, create insanitary and unsafe conditions.

2. **Deteriorating/Dilapidated Buildings.**

The deteriorated conditions of structures in **Area #14**, as documented in this **Study**, were prevalent in an estimated 83 percent of the existing buildings. Structures in this condition can result in hazards that are detrimental to adjacent properties and, thus, create insanitary and unsafe conditions.

3. **Lack of Adequate Utilities.**

The City of Hastings Utility Staff reported that the portion of the **Redevelopment Area** that fronts Osborne Drive East and 26th Street East is adjacent water and sewer mains that are 27 to 30 years of age, while the mains along 26th Street East are an estimated 23 years of age. A large 24" diameter outfall sewer main extends from 26th Street East to the northeast along the West Folk of the Big Blue River that is an estimated 54 years of age. City Utility Staff stated that all mains are in good condition and capable of being extended to service the entire **Redevelopment Area**. Staff also stated that the 54 year old outfall sewer main is becoming aged and may need replacing in the near future. The extension of these utility mains to support development opportunities throughout the undeveloped tracts of land in the **Redevelopment Area** are costly and without public/private partnerships, future development in **Area #14** would not be cost effective.

Conclusion.

The existence of insanitary and unsafe conditions are a reasonable presence throughout Redevelopment Area #14.

(5) Deterioration of Site or Other Improvements.

The Structural/Site Conditions Survey documented the condition of site improvements within **Redevelopment Area #14**, including arterial and local streets, storm water drainage ditches, traffic control devices and off-street parking. The **Appendix** documents the present condition of these site features. The primary site problems in the **Redevelopment Area** include the condition of buildings and associated properties, streets and sidewalks and private parking areas.

Eight, or 73 percent of the 11 total parcels in Redevelopment Area #14 had site features, such as access roads or private driveways and yard and landscaping conditions that are noticeably deteriorating within the **Redevelopment Area**. **Seven parcels, or 64 percent of the 11 total parcels were identified as having “fair” overall site conditions, while an additional parcel was in “poor” condition.** These parcels combine for a total of **eight, or 73 percent of the 11 parcels having “fair” to “poor” overall site conditions.**

1. Both Osborne Drive East and 26th Street East are hard surfaced and in “good” condition. Gravel access driveways to three residential properties are gravel surfaced and in fair condition. Concrete access driveways into commercial properties in the **Area** were observed to be cracking and settling to a deteriorated.
2. Approximately **83 percent of the 23 total structures in Area #14** were observed to be deteriorated with major defects or dilapidated. Several of these structures should be considered for either rehabilitation or demolition. Many of the outbuildings were found to be no longer utilized for intended agricultural purposes and, thus, are functionally and economically obsolescent.
3. Storm water drainage ditches throughout **Redevelopment Area #14** are showing signs of deterioration. Storm water drainage ditches are becoming shallow and culverts at intersections and private driveways are deteriorated.
4. Properties within the **Redevelopment Area** include former farmsteads that have been split-off and sold as a non-farm dwellings with associated buildings that no longer support agricultural activities. These properties are showing signs of deterioration and, in present state, are a hindrance to future development opportunities in **Area #14**.

Conclusion.

Deterioration of site improvements are a strong presence in Redevelopment Area #14.

(6) Diversity of Ownership.

The total number of unduplicated owners within **Redevelopment Area #14** is estimated to be **eight private individuals, partnerships or corporations**. Publicly owned lands and local street public rights-of-way are also located adjacent the **Redevelopment Area**.

Conclusion.

The Factor “**diversity of ownership**” is of little or no presence in **Redevelopment Area #14**.

(7) Tax or Special Assessment Delinquency Exceeding the Fair Value of the Land.

An examination of public records was conducted to determine the status of taxation of properties located in **Redevelopment Area #14**. It should be noted, real estate is typically taxed at approximately 98 percent of fair market value, rendering it almost impossible for a tax to exceed value in a steady real estate market. If a badly dilapidated property was assessed (or valued) too high, the public protest system is designed to give the owner appropriate relief and tax adjustment.

1. Real Estate Taxes.

Public records were examined for the purposes of determining if delinquent taxes were currently outstanding on parcels within the **Redevelopment Area**. The records indicated that **none** of the **parcels** were classified as “delinquent” by the Adams County Treasurer office.

2. Real Estate Values.

The tax values within **Redevelopment Area #14** generally appeared to be equal to or greater than the market value of the properties. The total estimated appraised valuation within **Area #14** is **\$4,327,490**.

3. Tax Exempt.

There is **one property** within the **Redevelopment Area**, identified by the Adams County Assessor and Treasurer offices, having full exemption from property taxes.

Conclusion.

Taxes or special assessments delinquency were of little to no presence in Redevelopment Area #14.

(8) Defective or Unusual Condition of Title.

Whenever land is sold, mortgaged, or both, a title insurance policy is typically issued, at which time any title defects are corrected. Once title insurance has been issued, all other titles in the same subdivision or addition will only have to be checked for the period of time subsequent to the creation of the addition or subdivision, as everything previous is the same and any defects will already have been corrected. Thus, the only possibility for title problems are from improper filings, since platting on properties that have not been mortgaged or sold is very small.

Conclusion.

Examination of public records does not provide any basis for identifying any defective or unusual conditions of title. Such few conditions would contribute to neither any existing problems nor to difficulty in acquisition or redevelopment and are therefore not found to exist at a level large enough to constitute a Blight Factor in Redevelopment Area #14.

(9) Improper Subdivision or Obsolete Platting.

An analysis of the subdivision conditions in **Redevelopment Area #14** revealed that **improper subdivision** and **obsolete platting** is present. Two Tax Lots are approximately one acre in size, while a third has 12.5 acres, but only two acres are utilized by the former farmstead and associated outbuildings. Current Hastings Zoning Regulations would have required these agricultural zoned tracts to be comprised of at least five acres in size.

The undeveloped parcels of land include a 27.2 acre tract and a 55.3 acre tract, both identified by metes and bounds descriptions. Both tracts, which are adjacent, but outside the City of Hastings Corporate Limits, lack a modern interior street network, which is a detriment to future development opportunities. In order for redevelopment of these (currently) functionally and economically obsolete properties to occur, the platting or re-platting of land would be necessary.

Conclusion.

A strong presence of improper subdivision or obsolete platting exists throughout Redevelopment Area #14.

10) **The Existence of Conditions Which Endanger Life or Property by Fire and Other Causes.**

1. **Building Elements that are Combustible.**

Wood framed buildings containing combustible elements and fixtures exist in **Redevelopment Area #14**. **A total of 12 structures, or 52 percent of the 23 total buildings were recorded as deteriorated, with major defects, and seven, or 31 percent of the total structures were recorded as being dilapidated. Combined, these structures account for 83 percent of the structures being deteriorated or dilapidated.**

2. **Lack of Adequate Utilities.**

The City of Hastings Utility Staff reported that the portion of the **Redevelopment Area** that fronts Osborne Drive East and 26th Street East is adjacent water and sewer mains that are 27 to 30 years of age, while the mains along 26th Street East are an estimated 23 years of age. A large 24” diameter outfall sewer main extends from 26th Street East to the northeast along the West Folk of the Big Blue River that is an estimated 54 years of age. City Utility Staff stated that all mains are in good condition and capable of being extended to service the entire **Redevelopment Area**. Staff stated that the 54 year old outfall sewer main is becoming aged and may need replacing in the near future. The extension of these utility mains to support development opportunities throughout the undeveloped tracts of land in the **Redevelopment Area** are costly and without public/private partnerships, future development in **Area #14** would not be cost effective.

3. **Advanced Age of Structures.**

A total of **20 structures, or 87 percent of the 23 total structures** in the **Redevelopment Area** were built prior to 1977, thus 40+ years of age. **The average age of the residential structures is estimated to be 95 years.**

4. **Overall Site Condition.**

Seven, or 64 percent of the total 11 parcels were identified as being in “fair” condition and one additional structure as in “poor” condition. This determination included the evaluation of the general condition of structures, site improvements and adjacent right-of-way conditions. **These conditions combine for 73 percent of the total parcels having “fair” to “poor” overall site conditions.**

Conclusion.

The conditions which endanger life or property by fire and other causes are a strong presence throughout Redevelopment Area #14.

(11) Other Environmental and Blighting Factors.

Included in the **Nebraska Community Development Law** is a statement of purpose that has an additional criterion for identifying blight, *viz.*, "economically or socially undesirable land uses." Conditions which are considered to be economically and/or socially undesirable include: (a) incompatible uses or mixed-use relationships, (b) economic obsolescence, and c) functional obsolescence. For purpose of this analysis, **functional obsolescence** relates to the physical utility of a structure and **economic obsolescence** relates to a property's ability to compete in the market place. These two definitions are interrelated and complement each other.

Functional and economic obsolescence is evident in the smaller Tax Lots split off from adjacent larger parcels, that now only include a former farmhouse and outbuildings. The outbuildings no longer support intended uses and are functionally obsolete and too deteriorated to be adapted for new uses. The former farmhouses remain as single family dwellings that are, as well, functionally and economically obsolescent, due to locations within the developed Highway 281 commercial corridor. These Tax Lots are one to two acres in size, but the "A" Agricultural District requires five acre minimum lot sizes. An additional Tax Lot is 12.5 acres, but only two acres include a house and outbuildings.

The undeveloped tracts of land in **Area #14**, including a 27 acre tract and a 55 acre tract, are both irregularly shaped due to an abandoned railroad corridor. The hiker/biker trail divides the tracts at an angle, resulting in limited future development opportunities

Infrastructure improvements are needed throughout the tracts of undeveloped land within **Redevelopment Area #14**. Without the extension or improvement of selected streets, water and sewer systems and storm systems, obstacles will continue to exist for the comprehensive redevelopment of **Redevelopment Area #14**.

Conclusion.

Other Environmental Blighting Factors are a strong presence throughout **Redevelopment Area #14**, containing functionally and economically obsolete parcels.

(12) Additional Blighting Conditions.

According to the definition set forth in the **Nebraska Community Development Law**, Section 18-2102, in order for an area to be determined "blighted" it must (1) meet the eleven criteria by reason of presence and (2) contain at least one of the five conditions identified below:

1. Unemployment in the designated blighted and substandard area is at least one hundred twenty percent of the state or national average;
2. **The average age of the residential or commercial units in the area is at least forty years;**
3. More than half of the plotted and subdivided property in the area is unimproved land that has been within the City for forty years and has remained unimproved during that time;
4. The per capita income of the designated blighted and substandard area is lower than the average per capita income of the Village or City in which the area is designated; or
5. The area has had either stable or decreasing population based on the last two decennial censuses.

One of the aforementioned criteria is prevalent throughout the designated blighted areas.

The average age of the residential or commercial units in the area is at least forty (40) years.

The estimated average age of the residential structures in **Redevelopment Area #14 is 95 years, based upon Adams County Assessor's parcel information.** Additionally, 87 percent, or 20 of the 23 total structures within the **Redevelopment Area** are at least 40+ years of age.

Conclusion.

The criteria of average age of residential units is over 40 years of age as one of five additional blighting conditions is a strong presence throughout Redevelopment Area #14.

DETERMINATION OF REDEVELOPMENT AREA ELIGIBILITY

Redevelopment Area #14 meets the requirements of the **Nebraska Community Development Law** for designation as both a "**Blighted and Substandard Area.**" All **four Factors** that constitute the **Area** as substandard are, at least, present to a reasonable extent. Of the **12** possible **Factors** that can constitute the **Area blighted**, **seven** are of a **strong presence** and an additional **two** are of a **reasonable presence** in the **Redevelopment Area**. **Factors** present in each of the criteria are identified below.

Substandard Factors

1. Dilapidated/deterioration.
2. Age or obsolescence.
3. Inadequate provision for ventilation, light, air, sanitation or open spaces.
4. Existence of conditions which endanger life or property by fire and other causes.

Blight Factors

1. A substantial number of deteriorated or dilapidated structures.
2. Existence of defective or inadequate street layout.
3. Faulty lot layout in relation to size, adequacy, accessibility or usefulness.
4. Insanitary or unsafe conditions.
5. Deterioration of site or other improvements.
6. Improper subdivision or obsolete platting.
7. The existence of conditions which endanger life or property by fire or other causes.
8. Other environmental and blighting factors.
9. One of the other five conditions.

Although all the previously listed **Factors** are at least reasonably present throughout **Redevelopment Area #14**, the conclusion is that the condition and age of structures, insanitary and unsafe conditions, lack of modern public utility and transportation systems other environmental and blighting factors and the existence of conditions which endanger life or property by fire or other causes are a sufficient basis for designation of **Redevelopment Area #14** as **blighted** and **substandard**.

The extent of **Blight** and **Substandard Factors** in **Redevelopment Area #14**, addressed in this **Study**, is presented in **Tables 1** and **2**, **Pages 5** and **7**. The eligibility findings indicate that **Redevelopment Area #14** is in need of revitalization and strengthening to ensure it will contribute to the physical, economic and social well-being of the City of Hastings and support any value-added developments. Indications are that **Area #14**, on the whole, has not been subject to comprehensive, sufficient growth and development through investment by the private sector nor would the areas be reasonably anticipated to be developed without public action or public intervention.



**Structural/Site Conditions
Survey Form**

Parcel # _____
Address: _____

Section I:

1. Type of Units: ___ SF ___ MF ___ Mixed Use ___ Duplex ___ No. of Units
2. Units: _____ Under construction/rehab _____ For Sale _____ Both
3. Vacant Units: _____ Inhabitable _____ Uninhabitable
4. Vacant Parcel: _____ Developable _____ Undevelopable
5. Non-residential Use: _____ Commercial _____ Industrial ___ Public
Other/Specify: _____

Section II: Structural Components

	Primary Components	(Critical) Dilapidated	(Major) Deteriorating	Minor	None	Sound
1	Roof					
2	Wall Foundation					
3	Foundation					
_____ Concrete _____ Stone _____ Rolled Asphalt _____ Brick _____ Other						
	Secondary Components	(Critical) Dilapidated	(Major) Deteriorating	Minor	None	Sound
4	Roof					
_____ Asphalt Shingles _____ Rolled Asphalt _____ Cedar _____ Combination _____ Other						
5	Chimney					
6	Gutters, Downspouts					
7	Wall Surface					
_____ Frame _____ Masonry _____ Siding _____ Combination _____ Stucco _____ Other						
8	Paint					
9	Doors					
10	Windows					
11	Porches, Steps, Fire Escape					
12	Driveways, Side Condition					

Final Rating:

_____ Sound _____ Deficient-Minor _____ Deteriorating _____ Dilapidated

Built Within: _____ 1 year _____ 1-5 years _____ 5-10 years
 _____ 10-20 years _____ 20-40 years _____ 40-100 years _____ 100+ years

Section III: Revitalization Area

1. Adjacent Land Usage: _____
2. Street Surface Type: _____
3. Street Condition: _____ E _____ G _____ F _____ P
4. Sidewalk Condition: _____ N _____ E _____ G _____ F _____ P
5. Parking (Off-Street): _____ N _____ # of Spaces _____
Surface
6. Railway Track/Right-of Way Composition: _____ N _____ E _____ G _____ F _____ P
7. Existence of Debris: _____ MA _____ MI _____ N
8. Existence of Vagrants: _____ MA _____ MI _____ N
9. Overall Site Condition: _____ E _____ G _____ F _____ P

HASTINGS REDEVELOPMENT AREA #14							
	TOTAL	PERCENT	RESIDENTIAL	COMMERCIAL	INDUSTRIAL	VACANT	OTHER
AGE OF STRUCTURE							
1-5 Years	0	0.0%	0	0	0	N/A	0
5-10 Years	1	4.3%	0	1	0	N/A	0
10-20 Years	0	0.0%	0	0	0	N/A	0
20-40 Years	2	8.7%	0	2	0	N/A	0
40-100 Years	15	65.2%	2	0	0	N/A	13
100+ Years	5	21.7%	1	0	0	N/A	4
TOTAL	23	100.0%	3	3	0	N/A	17
FINAL STRUCTURAL RATING							
Sound	2	8.7%	0	2	0	N/A	0
Deteriorating-Minor	2	8.7%	1	1	0	N/A	0
Deteriorating-Major	12	52.2%	1	0	0	N/A	11
Dilapidated	7	30.4%	1	0	0	N/A	6
TOTAL	23	100.0%	3	3	0	N/A	17
STREET CONDITION							
None	0	0.0%	0	0	0	0	0
Excellent	0	0.0%	0	0	0	0	0
Good	10	90.9%	2	5	0	0	3
Fair	1	9.1%	1	0	0	0	0
Poor	0	0.0%	0	0	0	0	0
TOTAL	11	100.0%	3	5	0	0	3
SIDEWALK CONDITION							
None	6	54.5%	2	2	0	0	2
Excellent	2	18.2%	1	0	0	0	1
Good	1	9.1%	0	1	0	0	0
Fair	2	18.2%	0	2	0	0	0
Poor	0	0.0%	0	0	0	0	0
TOTAL	11	100.0%	3	5	0	0	3
DEBRIS							
None	11	100.0%	3	5	0	0	3
Major	0	0.0%	0	0	0	0	0
Minor	0	0.0%	0	0	0	0	0
TOTAL	11	100.0%	3	5	0	0	3
OVERALL SITE CONDITION							
Excellent	0	0.0%	0	0	0	0	0
Good	3	27.3%	0	2	0	0	1
Fair	7	63.6%	2	3	0	0	2
Poor	1	9.1%	1	0	0	0	0
TOTAL	11	100.0%	3	5	0	0	3
PARKING SPACES							
Ranges	0-300	0.0%	1-2	25-375	0-0	N/A	1-3
None	1	9.1%	0	1	0	0	0
Hard Surfaced	4	36.4%	0	4	0	0	0
Unimproved	6	54.5%	3	0	0	0	3
TOTAL	11	100.0%	3	5	0	0	3

HASTINGS REDEVELOPMENT AREA #14							
	TOTAL	PERCENT	RESIDENTIAL	COMMERCIAL	INDUSTRIAL	VACANT	OTHER
DOORS							
None	2	8.7%	0	0	0	N/A	2
Sound	5	21.7%	0	3	0	N/A	2
Minor	13	56.5%	0	0	0	N/A	13
Substandard	2	8.7%	2	0	0	N/A	0
Critical	1	4.3%	1	0	0	N/A	0
TOTAL	23	100.0%	3	3	0	N/A	17
WINDOWS							
None	10	43.5%	0	0	0	N/A	10
Sound	3	13.0%	0	3	0	N/A	0
Minor	9	39.1%	3	0	0	N/A	6
Substandard	1	4.3%	0	0	0	N/A	1
Critical	0	0.0%	0	0	0	N/A	0
TOTAL	23	100.0%	3	3	0	N/A	17
STREET TYPE							
None	0	0.0%	0	0	0	0	0
Concrete	8	72.7%	2	5	0	0	1
Asphalt	3	27.3%	1	0	0	0	2
Gravel	0	0.0%	0	0	0	0	0
Dirt	0	0.0%	0	0	0	0	0
Brick	0	0.0%	0	0	0	0	0
TOTAL	11	100.0%	3	5	0	0	3
PORCHES...							
None	0	0.0%	0	0	0	N/A	0
Sound	3	13.0%	0	3	0	N/A	0
Minor	13	56.5%	2	0	0	N/A	11
Substandard	7	30.4%	1	0	0	N/A	6
Critical	0	0.0%	0	0	0	N/A	0
TOTAL	23	100.0%	3	3	0	N/A	17
PAINT							
None	10	43.5%	0	0	0	N/A	10
Sound	4	17.4%	1	2	0	N/A	1
Minor	2	8.7%	1	1	0	N/A	0
Substandard	7	30.4%	1	0	0	N/A	6
Critical	0	0.0%	0	0	0	N/A	0
TOTAL	23	100.0%	3	3	0	N/A	17
DRIVEWAY							
None	0	0.0%	0	0	0	N/A	0
Sound	2	8.7%	0	2	0	N/A	0
Minor	1	4.3%	0	0	0	N/A	1
Substandard	20	87.0%	3	1	0	N/A	16
Critical	0	0.0%	0	0	0	N/A	0
TOTAL	23	100.0%	3	3	0	N/A	17

HASTINGS REDEVELOPMENT AREA #14							
	TOTAL	PERCENT	RESIDENTIAL	COMMERCIAL	INDUSTRIAL	VACANT	OTHER
ROOF STRUCTURE							
None	0	0%	0	0	0	N/A	0
Sound	3	13%	1	2	0	N/A	0
Minor	15	65%	1	1	0	N/A	13
Substandard	5	22%	1	0	0	N/A	4
Critical	0	0%	0	0	0	N/A	0
TOTAL	23	100%	3	3	0	N/A	17
WALL FOUNDATION							
None	0	0%	0	0	0	N/A	0
Sound	5	22%	2	2	0	N/A	1
Minor	16	70%	1	1	0	N/A	14
Substandard	2	9%	0	0	0	N/A	2
Critical	0	0%	0	0	0	N/A	0
TOTAL	23	100%	3	3	0	N/A	17
FOUNDATION							
None	0	0%	0	0	0	N/A	0
Sound	15	65%	3	3	0	N/A	9
Minor	6	26%	0	0	0	N/A	6
Substandard	2	9%	0	0	0	N/A	2
Critical	0	0%	0	0	0	N/A	0
TOTAL	23	100%	3	3	0	N/A	17
FOUNDATION TYPE							
Concrete	23	100%	3	3	0	N/A	17
Stone	0	0%	0	0	0	N/A	0
Rolled Asphalt	0	0%	0	0	0	N/A	0
Brick	0	0%	0	0	0	N/A	0
Other/None	0	0%	0	0	0	N/A	0
TOTAL	23	100%	3	3	0	N/A	17
ROOF SURFACE							
None	0	0%	0	0	0	N/A	0
Sound	2	9%	0	2	0	N/A	0
Minor	16	70%	3	1	0	N/A	12
Substandard	5	22%	0	0	0	N/A	5
Critical	0	0%	0	0	0	N/A	0
TOTAL	23	100%	3	3	0	N/A	17
ROOF TYPE							
Asphalt Shingles	7	30%	3	0	0	N/A	4
Rolled Asphalt	3	13%	0	3	0	N/A	0
Cedar	0	0%	0	0	0	N/A	0
Combination	0	0%	0	0	0	N/A	0
Other	13	57%	0	0	0	N/A	13
TOTAL	23	100%	3	3	0	N/A	17

HASTINGS REDEVELOPMENT AREA #14							
	TOTAL	PERCENT	RESIDENTIAL	COMMERCIAL	INDUSTRIAL	VACANT	OTHER
CHIMNEY							
None	21	91%	1	3	0	N/A	17
Sound	0	0%	0	0	0	N/A	0
Minor	2	9%	2	0	0	N/A	0
Substandard	0	0%	0	0	0	N/A	0
Critical	0	0%	0	0	0	N/A	0
TOTAL	23	100%	3	3	0	N/A	17
GUTTER, DOWNSPOUTS							
None	18	78%	1	0	0	N/A	17
Sound	4	17%	1	3	0	N/A	0
Minor	0	0%	0	0	0	N/A	0
Substandard	0	0%	0	0	0	N/A	0
Critical	1	4%	1	0	0	N/A	0
TOTAL	23	100%	3	3	0	N/A	17
WALL SURFACE							
None	2	9%	0	2	0	N/A	0
Sound	3	13%	2	0	0	N/A	1
Minor	16	70%	0	1	0	N/A	15
Substandard	1	4%	0	0	0	N/A	1
Critical	1	4%	1	0	0	N/A	0
TOTAL	23	100%	3	3	0	N/A	17
WALL SURFACE TYPE							
Frame	3	13%	1	0	0	N/A	2
Masonry	4	17%	1	2	0	N/A	1
Siding	8	35%	1	0	0	N/A	7
Combination	2	9%	0	1	0	N/A	1
Stucco	0	0%	0	0	0	N/A	0
Other	6	26%	0	0	0	N/A	6
TOTAL	23	100%	3	3	0	N/A	17
PARKING SURFACE							
None	1	4%	0	1	0	N/A	0
Concrete	0	0%	0	0	0	N/A	0
Asphalt	2	9%	0	2	0	N/A	0
Gravel	17	74%	2	0	0	N/A	15
Dirt	3	13%	1	0	0	N/A	2
Brick	0	0%	0	0	0	N/A	0
TOTAL	23	100%	3	3	0	N/A	17
PARKING SPACES							
None	1	4%	0	1	0	N/A	0
1 to 2	20	87%	3	0	0	N/A	17
3 to 5	0	0%	0	0	0	N/A	0
6 to 10	0	0%	0	0	0	N/A	0
11 to 20	0	0%	0	0	0	N/A	0
21 or More	2	9%	0	2	0	N/A	0
TOTAL	23	100%	3	3	0	N/A	17

GENERAL REDEVELOPMENT PLAN.

Purpose of Plan/Conclusion.

The purpose of this **General Redevelopment Plan** is to serve as a comprehensive guide for implementation of development and redevelopment activities within **Redevelopment Area #14** in the City of Hastings, Nebraska. Redevelopment and development activities associated with the **Nebraska Community Development Law**, State Statutes 18-2101 through 18-2154, should be utilized to promote the general welfare and enhance the tax base, as well as promote economic and social well-being of the Community.

A **General Redevelopment Plan** prepared for the Hastings Community Redevelopment Authority (CRA) must contain the general planning elements required by Nebraska State Revised Statutes, Section 18-2111 re-issue 2012 items (1) through (6). A description of these items is as follows:

- (1) The boundaries of the redevelopment project area with a map showing the existing uses and condition of the real property therein; (2) a land-use plan showing proposed uses of the area; (3) information showing the standards of population densities, land coverage and building intensities in the area after redevelopment; (4) a statement of the proposed changes, if any, in zoning ordinances or maps, street layouts, street levels or grades, or building codes and ordinances; (5) a site plan of the area; and (6) a statement as to the kind and number of additional public facilities or utilities which will be required to support the new land uses in the area after redevelopment.

Furthermore, the **General Redevelopment Plan** must further address the items required under Section 18-2113, "Plan; considerations", which the CRA must consider prior to recommending a redevelopment plan to the Planning Commission and City Council for adoption. These "considerations" are defined as follows:

"...whether the proposed land uses and building requirements in the redevelopment project area are designed with the general purpose of accomplishing, in conformance with the general plan, a coordinated, adjusted and harmonious development of the City and its environs which will, in accordance with present and future needs, promote health, safety, morals, order, convenience, prosperity, and the general welfare, as well as efficiency and economy in the process of development; including, among other things, adequate provision for traffic, vehicular parking, the promotion of safety from fire, panic, and other dangers, adequate provision for light and air, the promotion of the healthful and convenient distribution of population, the provision of adequate transportation, water, sewage, and other public utilities, schools, parks, recreational and community facilities

and other public requirements, the promotion of sound design and arrangement, the wise and efficient expenditure of public funds, and the prevention of the recurrence of insanitary or unsafe dwelling accommodations, or conditions of blight."

Location.

Redevelopment Area #14 is located in the northeast corner of the City of Hastings, Nebraska, at the southeast corner of the intersection of East 33rd Street and Osborne Drive East. A portion of the **Redevelopment Area** adjacent Osborne Drive East is within the Corporate Limits of Hastings, with portions also adjacent, but beyond the current Corporate Limits of the City. **Illustration 1, Context Map**, identifies **Area #14** in relationship to the City of Hastings. Key development features in **Area #14** include the former Walmart commercial area, three former farmsteads with outbuildings and tracts of undeveloped land.

The right-of-way of portions of East 33rd Street, Osborne Drive East and 26th Street East are also included in the **Redevelopment Area**. Undeveloped tracts of land in **Area #14** are **functionally** and **economically obsolete** and in need of modern utility and transportation systems to promote future development opportunities.

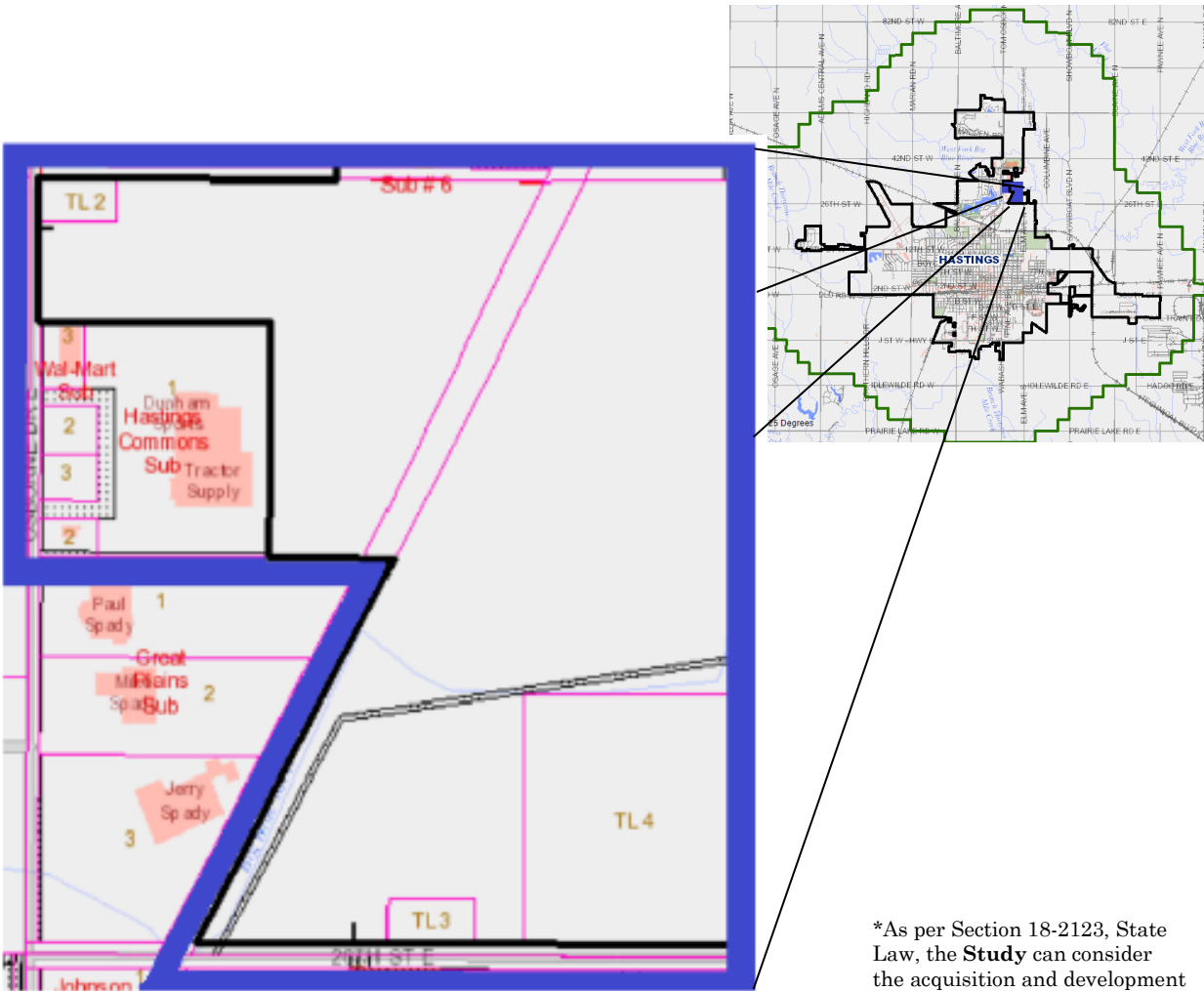
Portions of **Redevelopment Area #14** are located adjacent, but outside the Corporate Limits of Hastings. Land areas outside the Corporate Limits of the City will need to be annexed to be included in the CRA's area of operation and become eligible for Tax Increment Financing as specific projects make applications to the CRA for a redevelopment project. The **Context Map, Illustration 4**, and other maps in this **Redevelopment Plan** identify the entire **Redevelopment Area #14** that has been declared blighted and substandard and in need of redevelopment pursuant to this **General Redevelopment Plan**. This **General Redevelopment Plan** shall be amended when a specific redevelopment project moves forward which will necessitate the annexation of any of the blighted and substandard property currently located outside of the Corporate Limits of the City before such property shall be eligible for the use of tax increment financing as part of a redevelopment project.

The referenced **Redevelopment Area #14**, in the City of Hastings, Nebraska, includes the following Adams County Parcel ID #s:

1. #060001000. 3210 Osborne Drive East.
2. #010000008. East side of Osborne Drive East.
3. #010013898. Wal-Mart Subdivision Lot 3.
4. #010013896. Hastings Commons Subdivision Lot 1.
5. #010018600. Hastings Commons Subdivision Lot 2.
6. #010013897. Hastings Commons Subdivision Lot 3.
7. #010018601. Wal-Mart Subdivision Lot 2.
8. #010017957. 31-08-09 TR Land in S1/2 FR Sec 31-8-9 Abandoned RR (Tract 5).
9. #010000137. 31-08-09 Pt. FR S1/2 E of RR Ex Road & Ex. Tract 300x200 & 54 RDS
x 441/2 RDS.
10. #010000136. 31-08-09 Pt. SE1/4 Tax Lot 3.
11. #010000138. 31-08-09 Pt. SE1/4 Tax Lot 4.

CONTEXT MAP

REDEVELOPMENT AREA #14
HASTINGS, NEBRASKA



*As per Section 18-2123, State Law, the **Study** can consider the acquisition and development of land outside the City, but within a radius of three miles thereof, necessary or convenient to the proper clearance or redevelopment of one or more substandard or blighted areas within the City or is a necessary adjunct to the general community redevelopment program of the City.

LEGEND

- Redevelopment Area Boundary.*
- Hastings Corporate Limits.

ILLUSTRATION 4

HANNA:KEELAN ASSOCIATES, P.C.
COMMUNITY PLANNING & RESEARCH

* Lincoln, Nebraska * 402.464.5383 *

The planning process for **Redevelopment Area #14** has resulted in a listing of general planning and implementation recommendations. As discussed in the **Blight and Substandard Determination Study**, the average age of the structures, deterioration of site or other improvements and the existence of conditions which endanger life or property by fire or other causes are a sufficient basis for designation of **Redevelopment Area #14** as **blighted** and **substandard**.

Project Planning and Implementation Recommendations.

To eliminate blight and substandard conditions and enhance private development and redevelopment activities within **Redevelopment Area #14**, the City of Hastings will need to consider the following **general development/redevelopment initiatives**. **Tax Increment Financing (TIF)** will need to be considered as a tool to assist in financing both development and redevelopment projects.

General Development/Redevelopment Initiatives.

- Create an “**Economic Development Initiative**” for **Redevelopment Area #14** directed at increasing the property tax base. Utilize **TIF** and other available sources of economic development funding, including State and Federal and Private Foundation Grants, as well as private investment, for the expansion of existing and the development of new residential and commercial uses in the **Area** in conformance with the City’s recently completed ***Comprehensive Development Plan*** and current ***Zoning Regulations***, pending changes or amendments to both documents.
- Develop **public** and **private partnerships** with funding entities and property developers to attract residential, commercial and industrial development to **Redevelopment Area #14**. Partnerships can include, but are not limited to the Hastings Economic Development Corporation, Hastings Area Chamber of Commerce, Hastings Community Redevelopment Authority (CRA), Hastings Housing Authority, South Central Economic Development District and Community Action Partnership of Mid-Nebraska. Utilize the ***Hastings Comprehensive Development Plan***, ***Hastings Community Housing Study*** and any other local, relevant planning documents to provide direction for Community development projects.
- **Promote the development of undeveloped land areas within the Redevelopment Area, targeting tracts of land that are currently both functionally and economically obsolete.** Large, undeveloped tracts of land in **Redevelopment Area #14** should be planned for selected mixed uses of commercial and residential development. Modern street and water/sewer systems should be in place to allow for development to occur.
- Create new **commercial development opportunities** in and around the former Walmart building. This could include the renovation and rehabilitation of the former Walmart building, as well as additional commercial retail bays for small and large-scale commercial entities. This will also enhance the attractiveness of the **Area** and create a new and vibrant commercial node in the City of Hastings.

The City of Hastings and/or the Hastings CRA could designate an **Enhanced Employment Area** within the **Redevelopment Area** in accordance with Nebraska State Statutes 18-2142.02 through 18-2142.04. These Statutes allow for the City to levy a “general business occupation tax” to pay for any or all costs and expenses of a redevelopment project within the designated **Area**.

- **Acquire dilapidated and functionally and economically obsolescent buildings/properties within the Redevelopment Area and retain or “land bank” these tracts for future development.**
- Build and utilize **alternative energy systems** throughout **Redevelopment Area #14**. This would include the potential use of one or combinations of wind, solar, biomass, geothermal, hydropower and methane energy systems in both existing and new development areas and buildings.

Infrastructure & Utility Systems Initiatives.

- **Replace, as needed, deteriorated and dilapidated municipal water, sewer and storm sewer mains** throughout **Redevelopment Area #14**, to support both existing residential and commercial developments.
- **Install modern water, storm sewer, sanitary sewer and transportation systems** in undeveloped tracts of land in **Redevelopment Area #14** to support future development opportunities.
- Establish a **program to improve** the existing sidewalks, streets, street lighting, landscaping, private driveways, access roads and parking areas in the **Area**, identified as being in a state of deterioration and in substandard condition.

Implementation.

Both a time line and budget should be developed for the implementation of this **General Redevelopment Plan**. Each of these processes should be designed in conformance with the resources and time available by the City. A reasonable time-line to complete the redevelopment activities identified in the **Plan** would be 10 to 15 years.

Various funding sources exist for the preparation and implementation of a capital improvement budget designed to meet the funding needs of proposed development and redevelopment activities. These include local and federal funds commonly utilized to finance street improvement funds, i.e. Community Development Block Grants, Special Assessments, General Obligation Bonds and Tax Increment Financing (TIF). The use of TIF for development and redevelopment projects in **Redevelopment Area #14** is deemed to be an essential and integral element. The use of TIF in connection with such projects is contemplated by this **General Redevelopment Plan** and such designation and use of TIF will not constitute a substantial modification to the **Plan**.

The City agrees, when approving this **General Redevelopment Plan**, to the utilization of TIF for appropriate development and redevelopment projects and agrees to pledge the taxes generated from such projects for such purposes in accordance with the Act. Any redevelopment project receiving TIF is subject to a Cost Benefit Analysis. TIF, as a source of public financing, ultimately impacts taxing authorities in the City of Hastings and Adams County. Proposed projects using TIF must meet the Cost Benefit Analysis and the "But for" test. Accordingly, "But for TIF" a redevelopment project could not be fully executed and constructed in the Community.

1. **Future Land Use Patterns.**

The existing land use patterns within **Redevelopment Area #14** are described in detail in the **Blight and Substandard Determination Study (Pages 15 and 16)**. In general, the **Redevelopment Area** consists of former farmsteads, commercial, trails and undeveloped land use types. The field survey identified properties and structures classified as being in deteriorating condition or dilapidated. The irregular tracts of undeveloped land are ideally suited for future residential and commercial development.

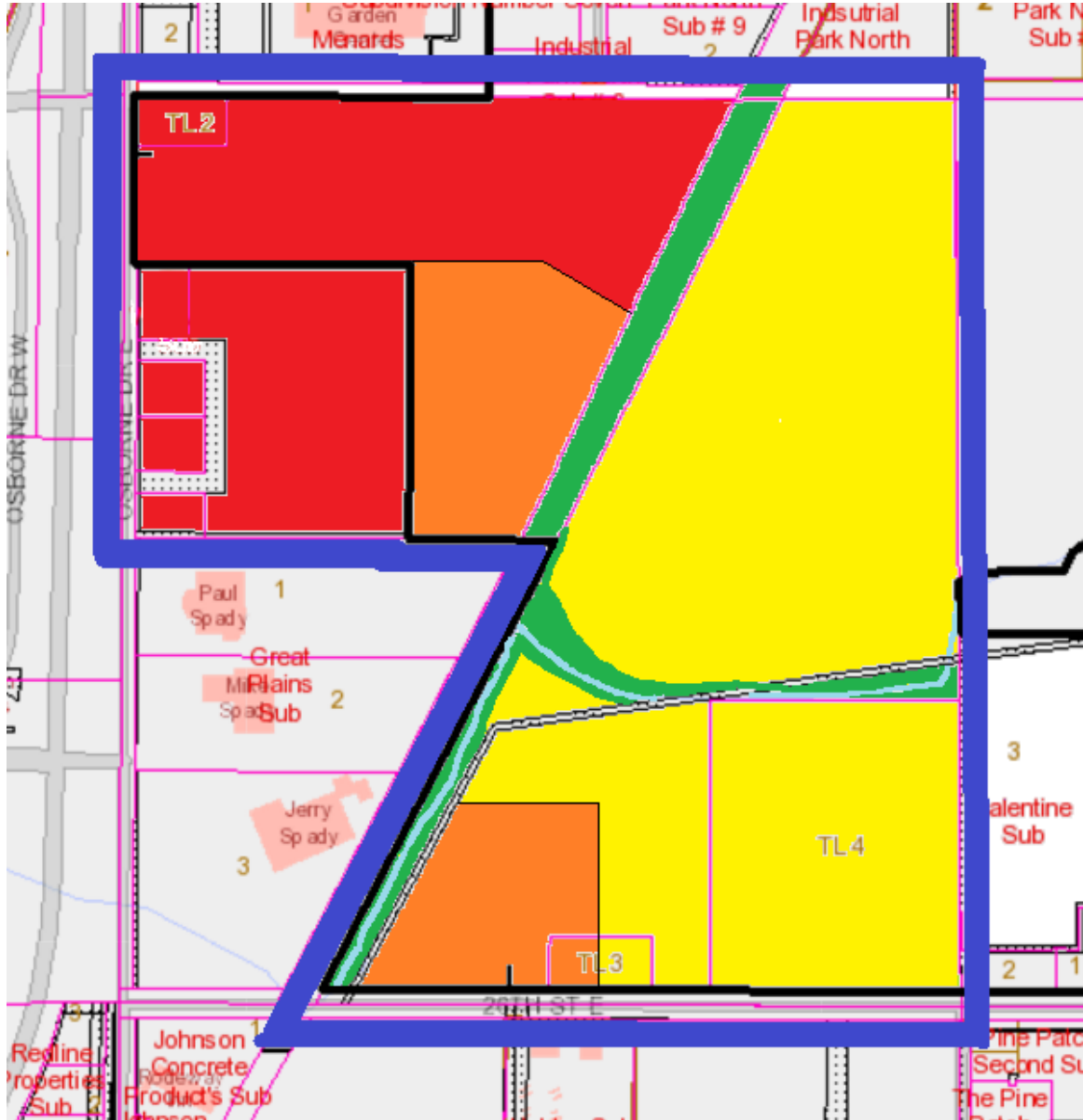
Illustration 5, Future Land Use Map, represents the land use density and coverage, as well as a **general site plan** for **Redevelopment Area #14**. The *Hastings Comprehensive Plan* and **Future Land Use Map** promote **Redevelopment Area #14** to support a mix of residential and commercial development. This **General Redevelopment Plan** recommends that future commercial and single family residential land uses be buffered with multifamily residential development.

2. **Future Zoning Districts.**







The recommended **Future Zoning Map** for **Redevelopment Area #14** is identified in **Illustration 6**. This also represents the **land development densities, land coverage and potential building intensities of Area #14**. A zoning recommendation for the **Redevelopment Area** is to extend the "C-3 – Commercial Business" District northward and eastward to allow for new commercial development. Additional zoning recommendations, regarding residential Districts, include designating the two land areas as "R-3 – Multiple Family Residential" districts, one located between the Tractor Supply Company Building and the hiker/biker trail, the other located along 26th Street in the southern portion of **Area #14**. An "R-2 – Mixed Density Neighborhood" District is proposed east of the trail.

FUTURE LAND USE MAP

REDEVELOPMENT AREA #14
HASTINGS, NEBRASKA



LEGEND

-  PARKS/OPEN SPACE
-  SINGLE FAMILY RESIDENTIAL
-  MULTIFAMILY RESIDENTIAL
-  COMMERCIAL
-  REDEVELOPMENT AREA #14 BOUNDARY
-  CITY OF HASTINGS CORPORATE LIMITS

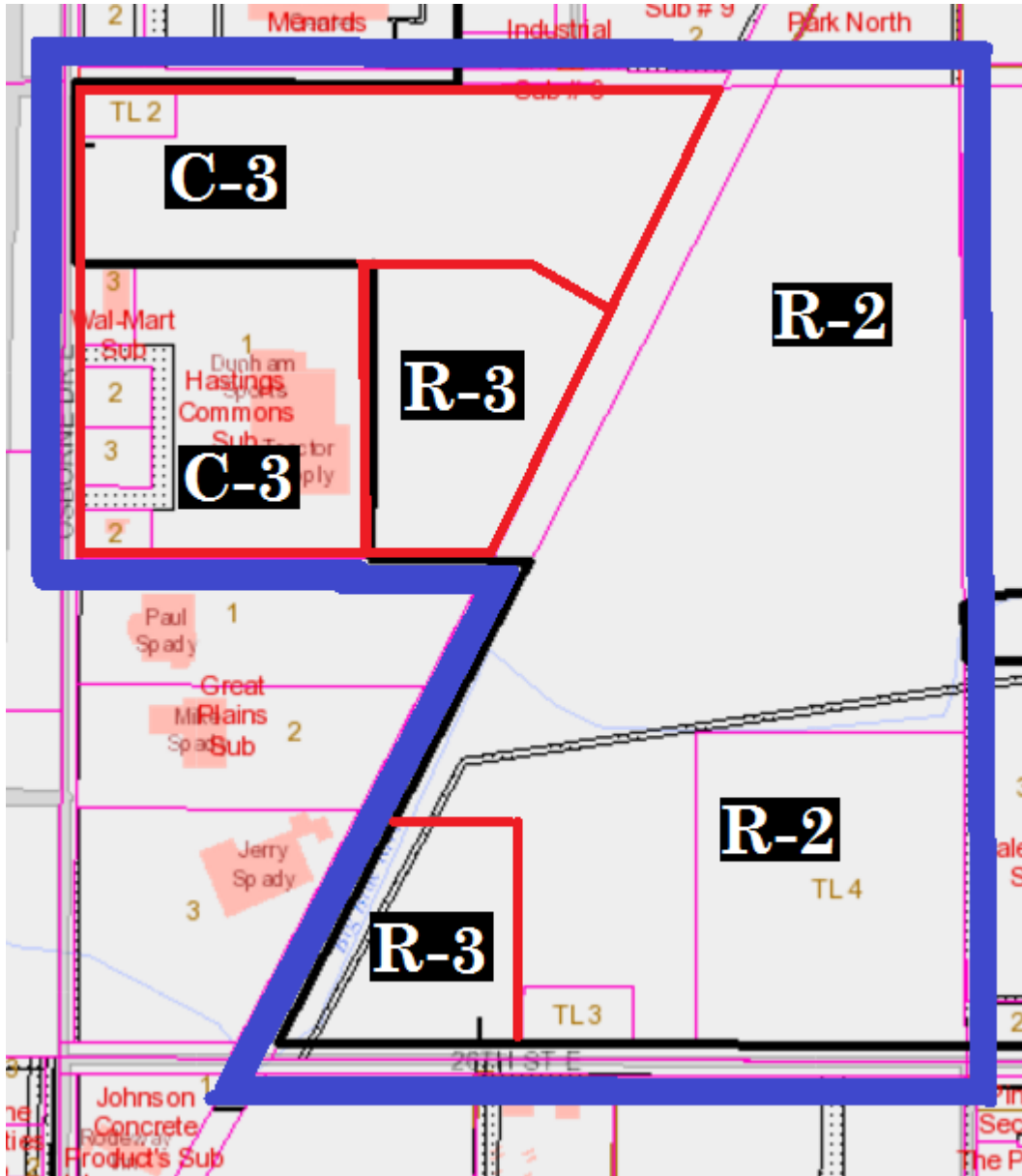
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COMMUNITY PLANNING & RESEARCH

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ILLUSTRATION 5

FUTURE ZONING MAP

REDEVELOPMENT AREA #14
HASTINGS, NEBRASKA



HANNA:KEELAN ASSOCIATES, P.C.
COMMUNITY PLANNING & RESEARCH

* Lincoln, Nebraska * 402.464.5383 *

LEGEND

- R-2 - MIXED-DENSITY NEIGHBORHOOD DISTRICT
- R-3 - MULTIPLE-FAMILY RESIDENTIAL DISTRICT
- C-3 - COMMERCIAL BUSINESS DISTRICT
- ZONING DISTRICT BOUNDARY
- REDEVELOPMENT AREA #14 BOUNDARY
- CITY OF HASTINGS CORPORATE LIMITS

ILLUSTRATION 6

3. Recommended Public Improvements.

The primary purpose of a **General Redevelopment Plan** is to allow for the use of public financing in a specific area. This public financing is planned and implemented to serve as a "first step" for public improvements and encourage private development within the **Redevelopment Area**. The most common form of public improvements occurs with infrastructure, specifically streets, water, sanitary sewer and storm sewer systems, sidewalks, open space and recreational uses. The primary infrastructure concerns in the **Redevelopment Area** are the need to monitor utility and infrastructure systems in order to make repairs or replacement as these systems continue to age, as well as by expansion of modern infrastructure to undeveloped and agricultural land areas.

The **Blight and Substandard Determination Study** focused on the condition of existing structures and sites, as well as improvement needs for deteriorated and dilapidated infrastructure systems to service developed and undeveloped land throughout the **Redevelopment Area**. It is recommended that the City of Hastings work closely with developers to ensure that future public roads and private driveways and parking areas within the **Redevelopment Area #14** are constructed in conformance with City development standards. New or redeveloped streets, sidewalks, alleys, and privately owned water and sewer service lines should be designed to meet the provisions of the Subdivision Regulations of Hastings.

4. Alternative Energy Considerations.

Development within **Redevelopment Area #14** is recommended to supplement the standard energy sources for lighting, heating and cooling, with alternative energy systems such as wind, solar, geothermal, biomass and methane. Individual buildings and larger industrial business are strongly recommended to access these alternative energy sources in combination with "*green building*" techniques.

"LEED" building certification also guides the use of energy conservation methods to reduce the consumption of energy by HVAC systems in new and rehabilitated buildings. In the United States, LEED certification is recognized as a standard for measuring building sustainability. Achieving this certification demonstrates that the building meets the ideals of being "green."

Conclusions.

A successful **General Redevelopment Plan** for **Redevelopment Area #14** should guide redevelopment and development opportunities, while supporting adjacent industrial uses. New construction should be compatible with similar materials exhibited by existing structures within, and adjacent the **Redevelopment Area**.

The Hastings CRA and the City of Hastings should seek funding sources to create a revolving loan and/or grant program for the rehabilitation and improvement of buildings and public uses in **Redevelopment Area #14**. The demolition of one existing building will enhance the visual appearance of the **Area**, making it more attractive for future development. Prior to transportation network improvements, the City and the CRA should develop a plan to accommodate efficient infrastructure development and improvements.

The following identifies estimated costs for the improvement of various infrastructure features in Redevelopment Area #14.

Normal Street Replacement

Costs are dependent on street width and thickness of pavement or overlay. Concrete paving of 6" thick with integral curbs costs an estimated \$52 per square yard. Asphalt overlay has a cost of \$3.45 per square yard, per inch of thickness of asphalt overlay.

The cost to construct a 6" thick, 30' wide concrete street is \$170 per linear foot. The cost to construct a 6" thick, 60' wide concrete street is \$345 per linear foot.

The cost to construct a 2" thick, 30' wide asphalt overlay is \$25 per linear foot. The cost to construct a 2" thick, 60' wide asphalt overlay is \$50 per linear foot.

Ramped Curb Cuts

\$1,400 each

Sanitary Sewer

\$60 to \$70 per linear foot

Water Valves

\$850 each

Fire Hydrants

\$2,800 each

Overlay of Parking Lots

Asphalt overlay costs \$3 per square yard per inch of thickness of asphalt overlay. Therefore, the cost of a 2" overlay of a 150 x 150 foot parking lot is \$17,000.

Storm Sewers

The cost of Storm Sewers is dependent upon the size of the storm sewer pipe and on the number of inlets required. A breakdown of approximate unit prices is as follows:

15" RCP costs \$25 per linear foot
18" RCP costs \$30 per linear foot
24" RCP costs \$40 per linear foot
30" RCP costs \$50 per linear foot
36" RCP costs \$57 per linear foot
42" RCP costs \$65 per linear foot
48" RCP costs \$75 per linear foot

Inlets cost an estimated \$2,800 each. Therefore, assuming 470 linear feet of 30" storm sewer and four inlets per block, a block of storm sewer would cost \$35,100.

Public and Private Foundations.

This **General Redevelopment Plan** addresses numerous community and economic development activities for **Redevelopment Area #14**, in Hastings, Nebraska. The major components of this **General Redevelopment Plan** will be accomplished as individual projects, however, a comprehensive redevelopment effort is recommended. Just as the redevelopment efforts should be tied together, so should the funding sources to ensure a complete project. The use of state and federal monies, local equity and tax incentives coupled with private funding sources, can be combined for a realistic and feasible funding package. The following provides a summary listing of the types of funding to assist in implementing this **General Redevelopment Plan**. Each selected redevelopment project should be accompanied with a detailed budget of both sources and uses of various funds.

Building Improvement District
Tax Increment Financing
LB 840 or LB 1240
Historic Preservation Tax Credits (State & Federal)
Low Income Housing Tax Credits
Sales Tax
Community Development Block Grants - Re-Use Funds
Local Lender Financing
Owner Equity
Small Business Administration-Micro Loans
Community Assistance Act
Donations and Contributions
Intermodal Surface Transportation Efficiency Act

Private Foundations

American Express Foundation
Kellogg Corporate Giving Program
Marietta Philanthropic Trust
Monroe Auto Equipment Company Foundation
Norwest Foundation
Piper, Jaffray & Hopwood Corporate Giving

Target Stores Corporate Giving
Pitney Bowes Corporate Contributions
Burlington Northern Santa Fe Foundation
US West Foundation
Woods Charitable Fund, Inc.
Abel Foundation
ConAgra Charitable Fund, Inc.
Frank M. and Alice M. Farr Trust
Hazel R. Keene Trust
IBP Foundation, Inc.
Mid-Nebraska Community Foundations, Inc.
Northwestern Bell Foundation
Omaha World-Herald Foundation
Peter Kiewit and Sons Inc. Foundation
Thomas D. Buckley Trust
Valmont Foundation
Quivey-Bay State Foundation

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Mid-Nebraska Community Foundations, Inc.
Northwestern Bell Foundation
Omaha World-Herald Foundation
Peter Kiewit and Sons Inc. Foundation
Thomas D. Buckley Trust
Valmont Foundation
Quivey-Bay State Foundation

GENERAL REDEVELOPMENT PLAN AMENDMENTS

<u>PROJECT NAME / LOCATION AND COST</u>	<u>RESOLUTION #</u>
1. _____ \$ _____	_____
2. _____ \$ _____	_____
3. _____ \$ _____	_____
4. _____ \$ _____	_____
5. _____ \$ _____	_____
6. _____ \$ _____	_____
7. _____ \$ _____	_____
8. _____ \$ _____	_____
9. _____ \$ _____	_____
10. _____ \$ _____	_____



HASTINGS

Nebraska



File No.

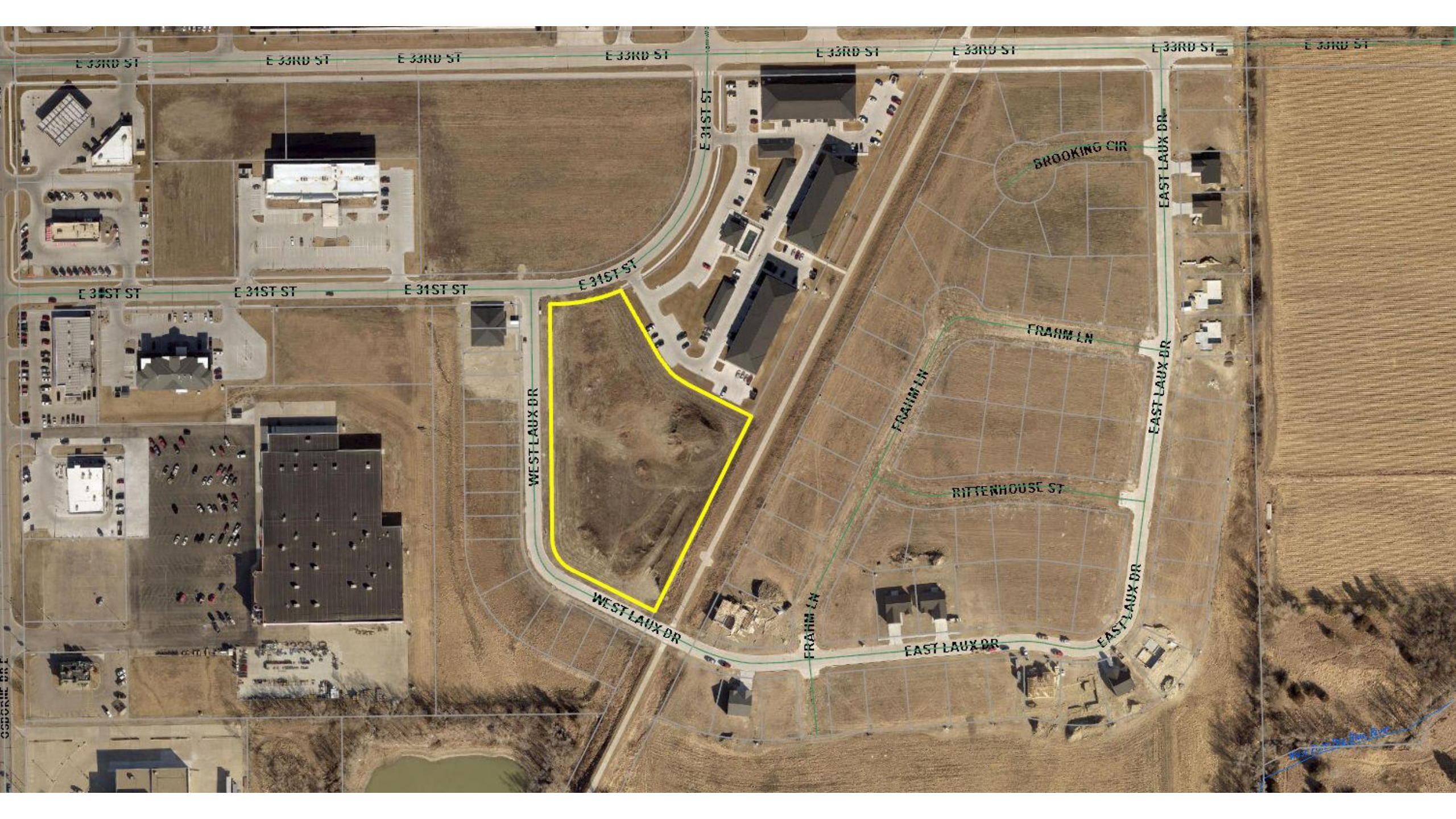
2025-83

Project

Public hearing to consider a request for Plan Modification No. 2025-2 to Redevelopment Area #14 for the Trailside Village Redevelopment Project.

Applicant

Hastings CRA on behalf of Queen City Development, LLC



E 33RD ST

E 33RD ST

E 33RD ST

E 33RD ST

E 33RD ST

E 33RD ST

E 33RD ST

E 33RD ST

E 31ST ST

BROOKING CIR

EAST LAUX DR

E 31ST ST

E 31ST ST

E 31ST ST

E 31ST ST

FRANK LN

FRANK LN

EAST LAUX DR

WEST LAUX DR

RITTENHOUSE ST

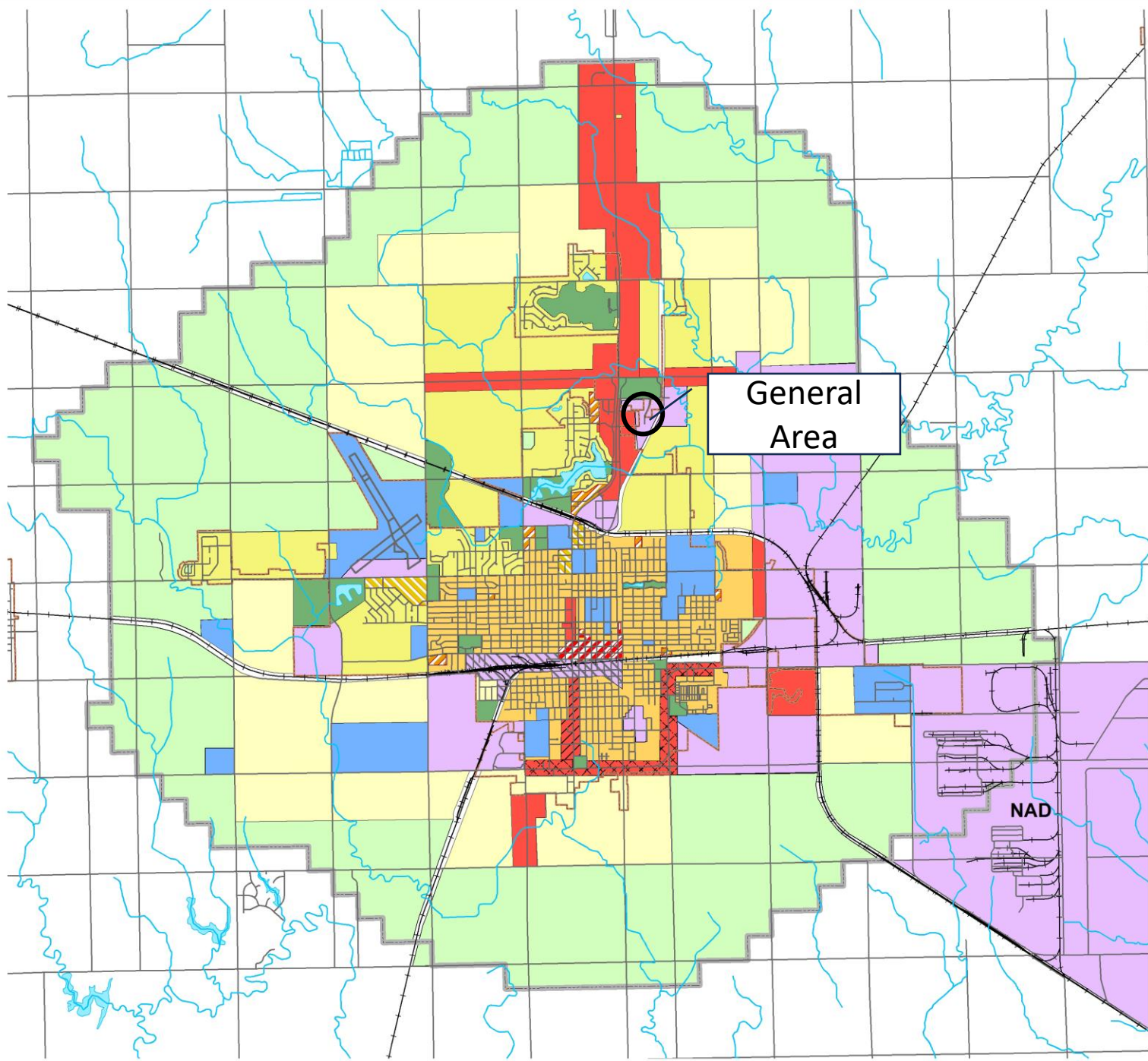
WEST LAUX DR

FRANK LN

EAST LAUX DR

EAST LAUX DR

CODORNE DR



Future Land Use City of Hastings, Nebraska

Future Land Use Plan Adopted
Planning Commission: 1-20-2009
City Council: 2-24-2009
Ordinance #4215

Map Last Updated: December 28, 2016

Land Use:

- Rural Residential
- Suburban Residential
- Urban Residential
- Mixed-Use - Neighborhood
- Mixed-Use - Community
- Mixed-Use Downtown
- Commercial/Retail
- Employment/Industrial
- Public / Semi-Public
- Parks & Recreation
- Agriculture

Overlay Districts:

- South Burlington Overlay
- Highway 6 Overlay
- Urban Industrial Overlay
- Floodplain

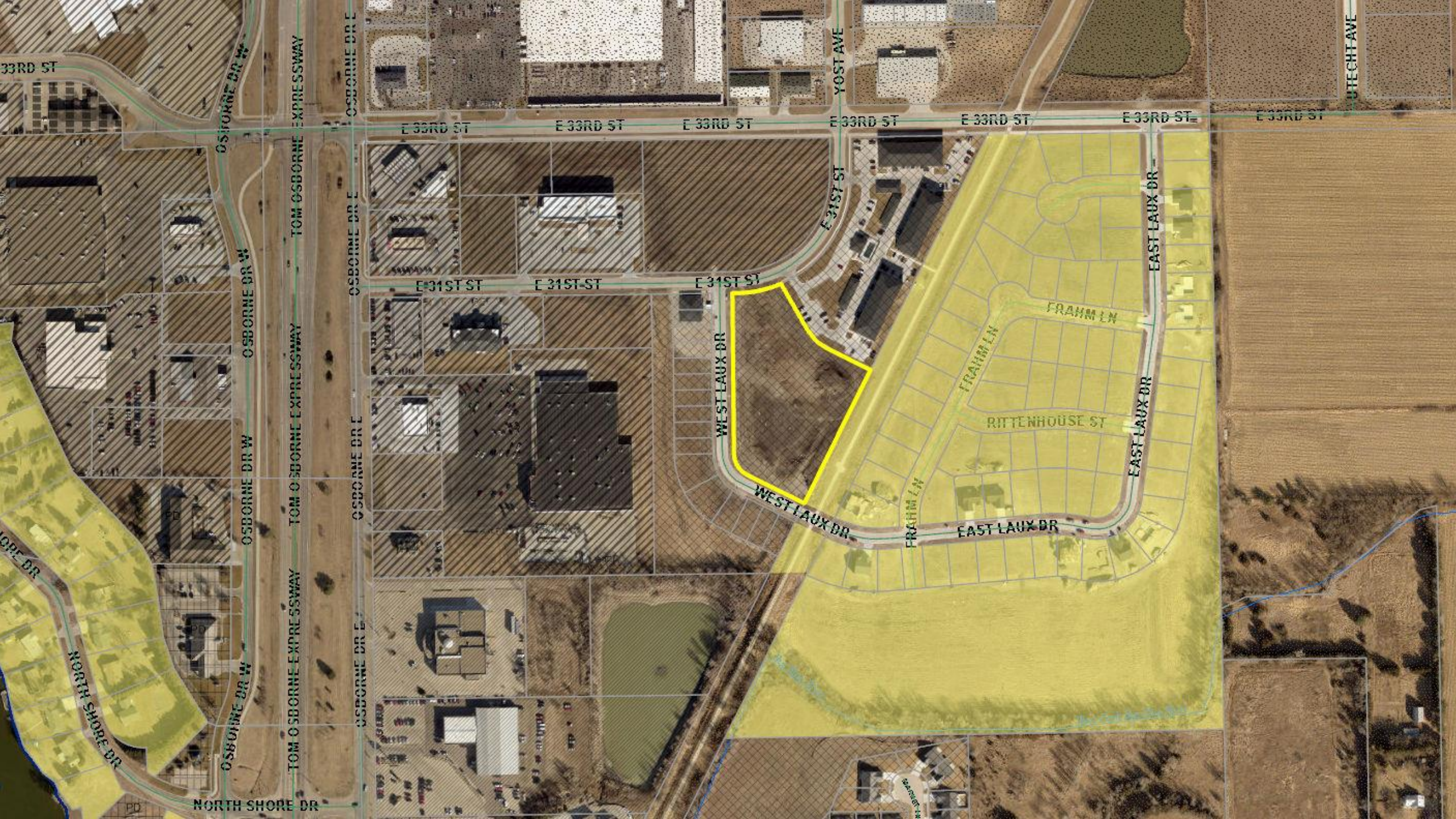
- City Boundary
- ETJ Boundary
- Education

not to scale



General
Area

NAD



E 33RD ST

OSBORNE DR W

TOM OSBORNE EXPRESSWAY

OSBORNE DR E

E 33RD ST

E 33RD ST

E 33RD ST

E 33RD ST

E 33RD ST

E 33RD ST

E 33RD ST

UTECHT AVE

E 31ST ST

E 31ST ST

E 31ST ST

E 31ST ST

WEST LAUX DR

WEST LAUX DR

FRAHM LN

EAST LAUX DR

FRAHM LN

FRAHM LN

RITTENHOUSE ST

EAST LAUX DR

NORTH SHORE DR

NORTH SHORE DR

NORTH SHORE DR

OSBORNE DR W

TOM OSBORNE EXPRE 5SWAY

OSBORNE DR E

OSBORNE DR E

YOST AVE

Projected Costs and Funding Sources

USE OF FUNDS		SOURCE OF FUNDS	
Site Acquisition	\$500,000	Bank Financing	\$5,900,000
Sewer, water, paving & utilities	\$780,000	Owner Equity	\$900,000
Engineering & architecture	\$120,000	Rural Workforce Housing Loan	\$1,000,000
Interior and Exterior Construction	\$7,800,000	TIF Loan	\$1,400,000
TOTALS	\$9,200,000	TOTALS	\$9,200,000

Project Pro Forma

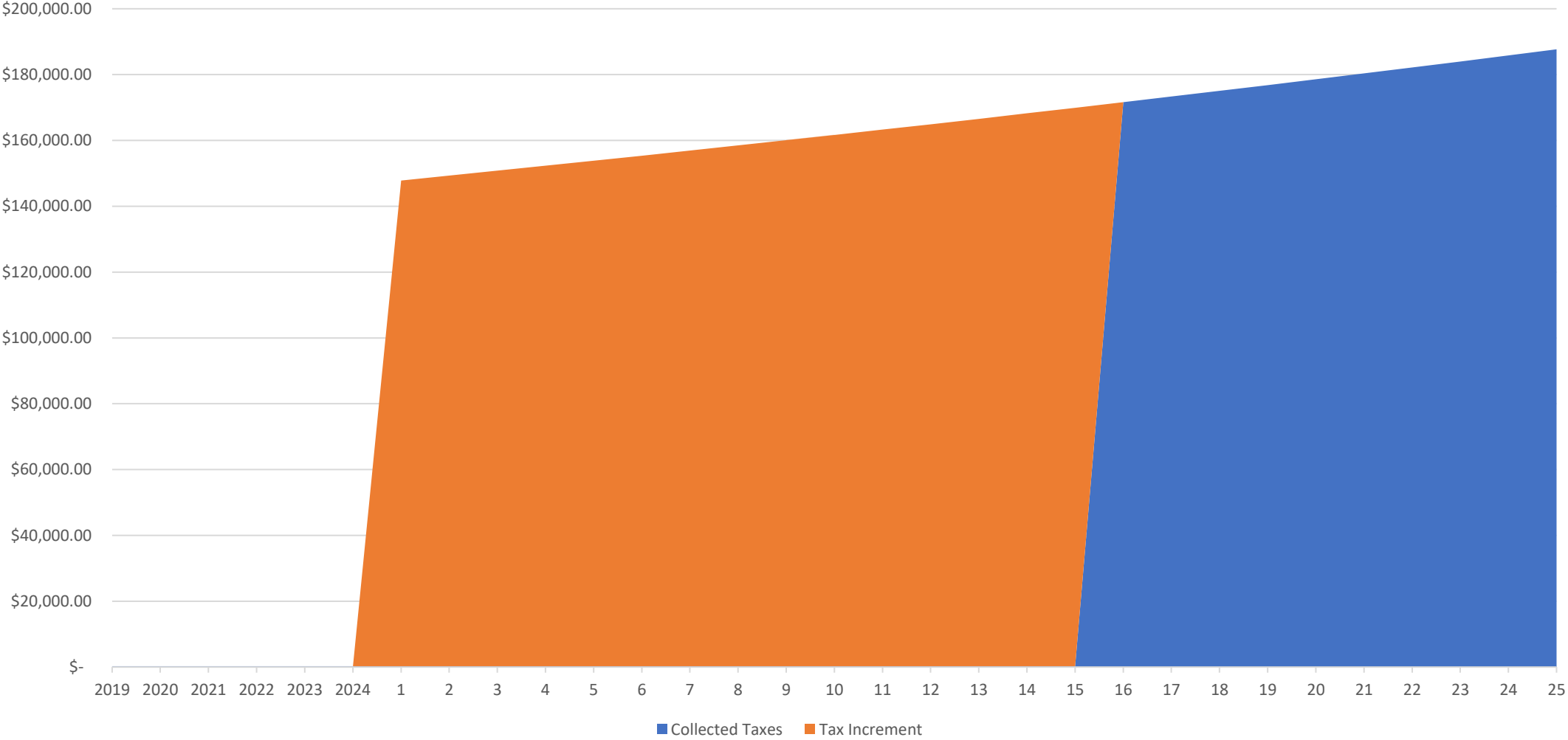
Proforma Operating Statement w/o TIF						
			<u>Year 1</u>	<u>Year 2</u>	<u>Year 3</u>	<u>Year 4</u>
Rent Revenue			\$ 736,176	\$ 743,538	\$ 750,973	\$ 758,843
Expenses			<u>\$ (302,709)</u>	<u>\$ (308,473)</u>	<u>\$ (314,352)</u>	<u>\$ (320,349)</u>
NOI Without TIF			\$ 433,467	\$ 435,065	\$ 436,621	\$ 438,494
			\$ (40,000)	\$ (40,000)	\$ (40,000)	\$ (40,000)
Debt Service			\$ (486,549)	\$ (486,549)	\$ (486,549)	\$ (486,549)
Cash Flow Without TIF			\$ (93,082)	\$ (91,484)	\$ (89,928)	\$ (88,055)
Cash on Cash Return			-10.34%	-10.16%	-9.99%	-9.78%
Owner Equity			\$ 900,000	\$ 900,000	\$ 900,000	\$ 900,000

Proforma Operating Statement with TIF						
			<u>Year 1</u>	<u>Year 2</u>	<u>Year 3</u>	<u>Year 4</u>
Rent Revenue			\$ 736,176	\$ 743,538	\$ 750,973	\$ 758,483
Expenses			<u>\$ (302,709)</u>	<u>\$ (308,473)</u>	<u>\$ (314,352)</u>	<u>\$ (320,349)</u>
NOI Without TIF			\$ 433,467	\$ 435,065	\$ 436,621	\$ 438,134
RWHL Debt Service			\$ (40,000)	\$ (40,000)	\$ (40,000)	\$ (40,000)
Debt Service			\$ (393,169)	\$ (393,169)	\$ (393,169)	\$ (393,169)
Cash Flow With TIF			\$ 298	\$ 1,896	\$ 3,452	\$ 4,965
Cash on Cash Return			0.03%	0.21%	0.38%	0.55%
Owner Equity			\$ 900,000	\$ 900,000	\$ 900,000	\$ 900,000

Anticipated Tax Revenue

2024 assessed value:	\$13,250
Annual City portion of property taxes	\$174.53
Estimated value after completion	\$7,400,000
Increment value	\$7,386,750
Annual TIF generated (estimated)	\$147,555
Annual increased Taxes not available to City during TIF	\$29,164
Annual increased taxes not available to County during TIF	\$25,707

Trailside Village Redevelopment Project



Staff Findings Summary

- The project is feasible and conforms with the Comprehensive Plan.
- The project would not be economically feasible without the use of TIF funding. The project has a negative cash on cash return without TIF. Without TIF funding, the project is infeasible.
- Due to the infeasibility of the project without TIF funding, the project would most likely not happen without the use of the TIF tool.
- The cost/benefit of the project is in the long-term best interest of the community. The project redevelops a vacant lot into 28 – 31 homes considered workforce housing, a housing need in Hastings.

Staff Recommendation

Staff recommend the Planning Commission recommend **APPROVAL** to the City Council for the request for a Redevelopment Plan Modification for the Trailside Village Redevelopment Project, based on the findings in the staff report and the Redevelopment Plan Modification materials.



HASTINGS

Nebraska